

OLD KINGS HIGHWAY –MEETING MATERIALS
JANUARY 13, 2020 @ 6:30PM

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AGENDA

Wednesday, January 13, 2021, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation methods as a result of the COVID-19 state of emergency in the Commonwealth of Massachusetts.

Alternative public access to this meeting shall be provided in the following manner:

1. Real-time access to the Old King's Highway Historic District meeting is available utilizing the Zoom link or telephone number and Meeting ID provided below. Public comment can be addressed to the Old King's Highway Historic District Committee by utilizing the Zoom link or telephone number and Meeting ID provided below:

Link: Join Zoom Meeting <https://zoom.us/j/93850917372>

Phone: 1- 888-475-4499 and entering Meeting ID: 93850917372

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Applicants, their representatives and individuals required or entitled to appear before the Old King's Highway Historic District Committee may appear remotely and are not permitted to be physically present at the meeting, and may participate through accessing the link or telephone number provided above. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to erin.logan@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

Plans and applications may be reviewed by calling Erin Logan at 508.862.4787 or by emailing erin.logan@town.barnstable.ma.us

To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

CONTINUED APPLICATIONS

McCullough, Rachael, 56 Bursley Path, West Barnstable, Map 110, Parcel 025/005, vacant land

Construct new 2,300sqft single family home with attached 2-car garage

Bishop, Craig, 1525 Hyannis Road, Barnstable, Map 298, Parcel 007, built 1929

Construct addition at the west elevation including alterations to all elevations; West elevation – removal of several windows as well as the existing deck and fence to allow for the addition. Alterations include the removal of several windows as well as door and changes to the roof line

Tavano, Nicholas & Salmon, Ashley, 17 Iris Lane, Barnstable, Map 334, Parcel 050, built 2000

Install a 16'X32' in-ground swimming pool with a 6' stockade fence along the front and a 5' black aluminum fence around the pool

APPLICATIONS

Hynes, Lisa, 26 Carlson Lane, West Barnstable, Map 133, Parcel 062,

Install an 8x8 greenhouse behind the house

Hibben, Gretchen & Edward, 9 Sheperds Way, Barnstable, Map 259, Parcel 010/004, built 2008

Construct exterior staircase at rear of house from the ground to the existing deck

Malfra, Todd & Ereni, 2886 Main Street, Barnstable, Map 279, Parcel 012/000, Laurence Mortimer House built built c.1849, contributing structure in the Old King's Highway Historic District

Demolish greenhouse on south west elevation

Malfra, Todd & Ereni, 2886 Main Street, Barnstable, Map 279, Parcel 012/000, Laurence Mortimer House built built c.1849, contributing structure in the Old King's Highway Historic District

Replace 20 windows on the front with wood windows to match existing; Replace front door with new wood door

Malfra, Todd & Ereni, 2886 Main Street, Barnstable, Map 279, Parcel 012/000, Laurence Mortimer House built built c.1849, contributing structure in the Old King's Highway Historic District

Construct farmer's porch on the front elevation in the footprint of the existing greenhouse

Commonwealth of Massachusetts c/e Global Monteilo Group, 2145 Iyannough Road, West Barnstable, Map 215, Parcel 027/001

Install one new wall sign, internally illuminated (23.8 sqft) to replace existing Subway sign that is 23.95 sqft

Kittridge, Robert & Suzanne, 172 Keveney Lane, Barnstable, Map 351, Parcel 063, Vacant Land

Construct a single family home including attached garage

MINOR MODIFICATION

None

OTHER *Matters not reasonably anticipated by Chair*

APPROVAL OF MINUTES December 16, 2020

NEXT MEETING DATES January 27, 2021 & February 10, 2021

Please Note: The list of matters, are those reasonably anticipated by the chair, which maybe discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date 10/27/20

NOTE: All applications must be signed by the current owner

Owner (print): Rachael McCullough Telephone #: 508-737-9096
 Address of Proposed Work: 56 Brasley Path Village _____ Map Lot # 34
 Mailing Address (if different) _____
 Owner's Signature: [Signature]
 Description of Proposed Work: Give particulars of work to be done: Construction of New Home

Agent or Contractor (print): J.D. Sullivan Builders Telephone #: 508-728-4821
 Address: 39 Desires Ln West Barnstable MA 02668 Email: jsullivan@jdsullivanbuilders.com
 Contractor/Agent's signature: [Signature]

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard shingle other _____
Material: red cedar _____ white cedar _____ other _____ Color: _____

Chimney Material: NA Color: _____

Roof Material: (make & style) Asphalt Architects Color: Weathered wood

Roof Pitch(s): (7/12 minimum) 8 (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify Aztek 3/4"

Size of cornerboards 6" size of casings (1 X 4 min.) 4" color white

Rakes 1st member 1x6 2nd member 1x3 Depth of overhang 8" min

Window: (make/model) Harvey/Clase material Vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):

true divided lights _____ exterior glued grills _____ grills between glass removable interior _____ None _____

Door style and make: Colonial w/ side lights material Fiberglass Color: Red

Garage Door, Style Shaker Size of opening 9' Material metal Color white

Shutter Type/Style/Material: Raised Panel vinyl Color: Blue

Gutter Type/Material: 6" Aluminum Color: white

Deck material: wood other material, specify mahogany Color: clear

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 2300 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 2800 sq. ft. Building 2 _____



SLIMLINE

Double Hung



Options

GLASS



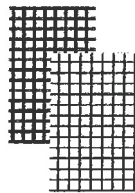
SunGain HSHG
ThermoGuard

SCREEN FRAME



Rollform
Aluminum
FlexScreen

SCREEN MESH



Fiberglass
VIEWS

EXTERIOR COLORS



White
(Standard)

GRID TYPE

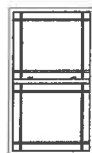


GBG

GRID STYLE



Colonial



Prairie

HARDWARE COLORS



White
(Standard)

Features

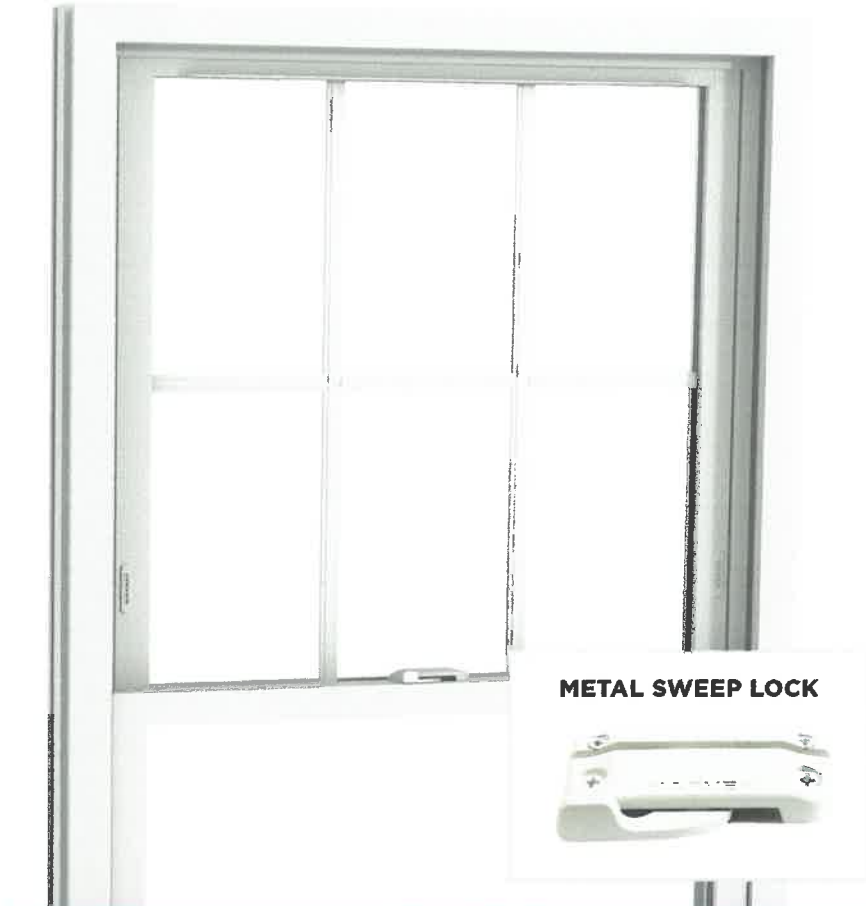
Slimmer, fully-welded sash and frame that maximizes view

Low profile sweep lock

Double locks are standard on widths of $\geq 30"$

Available in single hung





METAL SWEEP LOCK

WINDOW STYLE	MIN (W)	MIN (H)	MAX (W)	MAX (H)	MAX UI
Single/Double Hung	16-1/4"	26-1/4"	45-3/4"	77"	116"

REPLACEMENT

3-1/4" jamb depth

Adjustable vinyl sill extender and head expander included

NEW CONSTRUCTION

Extension jambs available for 4-9/16" and 6-9/16" wall depths

Integral L or J fin available

OTHER OPTIONS

Grids come in 5/8"

Custom grid configurations plus oriel & cottage sash options

Full and half size screens

Exterior Factory Applied Casing: Flat & 908 Brickmould, with or without sill nose

Interior Trim Kits

STRUCTURAL DATA

Unit Size W x H	Configuration	Air Infiltration cfm/ft ²	Water Resistance psf	Structural Test Pressure psf	DP Rating	Structural Rating
46" x 77"	Single	0.01	4.59	45.11	DP30	H-LC30
40" x 63"†**	Single	0.01	7.52	75.19	DP50	H-LC50

† Reinforced sash

THERMAL DATA

Glazing Description	NO GRIDS Thermal Performance			WITH GRIDS Thermal Performance			ENERGY STAR® Zone Compliance		
	U	SHGc	VT	U	SHGc	VT	N80		
SunGain™ High Solar Heat Gain Package	0.30	0.51	0.82	0.30	0.46	0.65			
ThermaGuard Low-E	0.30	0.31	0.57	0.30	0.28	0.50		NC	
Low-E	0.33	0.32	0.57	0.33	0.29	0.50			
Clear	0.47	0.61	0.84	0.47	0.54	0.57			

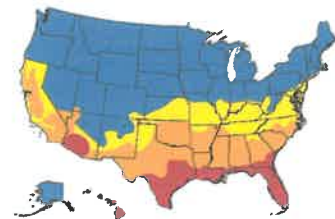
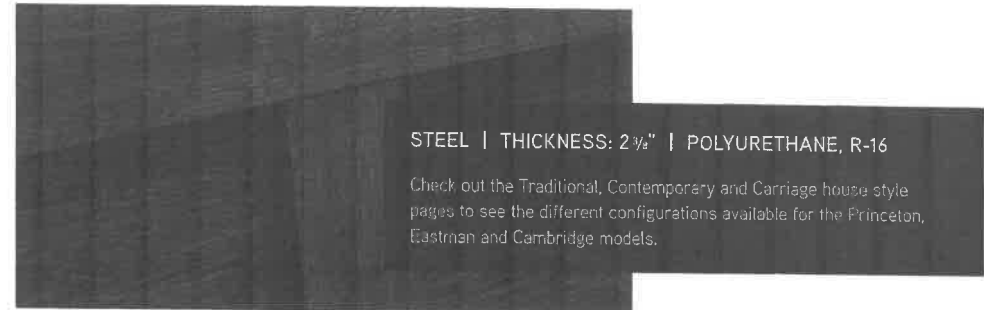
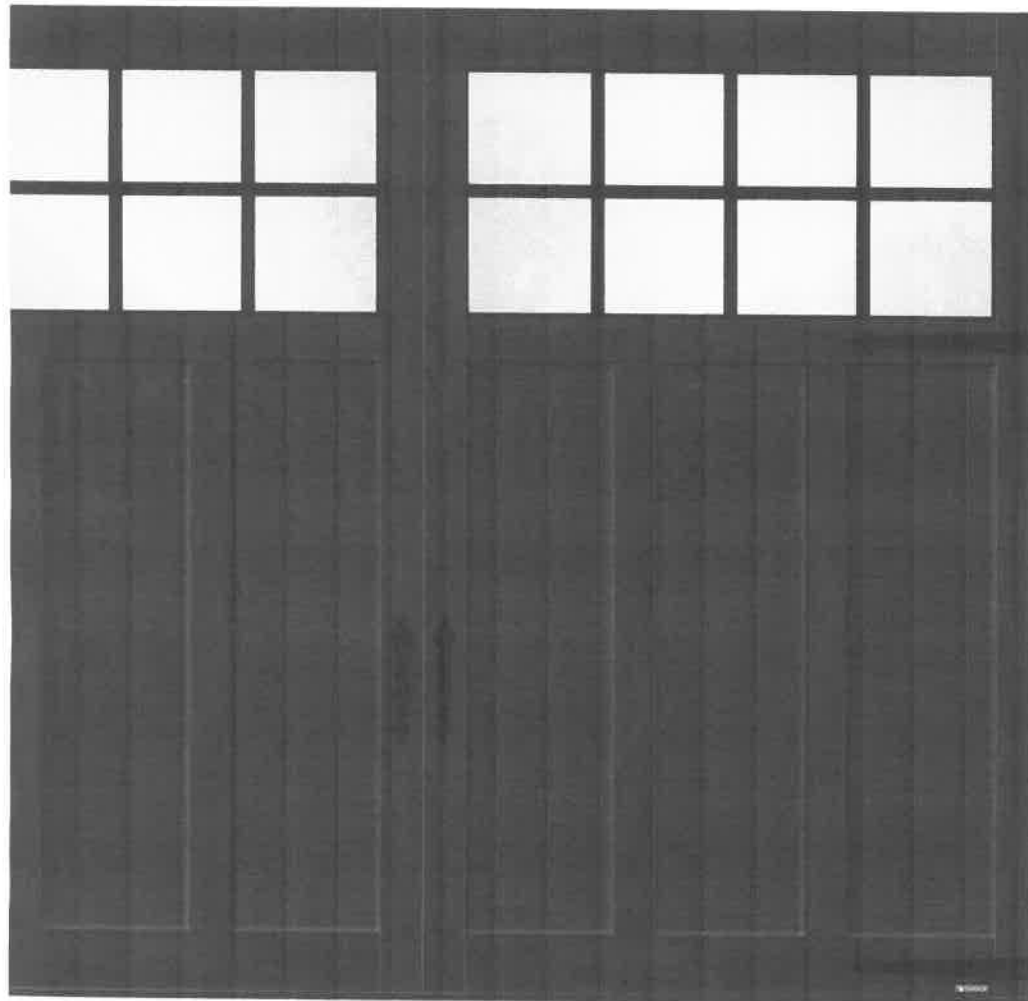


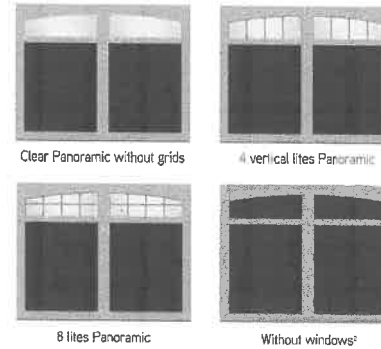
Chart represents thermal values for replacement/Integral J frame windows with Krypton or Argon gas fill for most glass packages. Gas fill not available with clear glass. U-factor in accordance with NFRC-100 and based on whole window values. Performance values shown are for "Single Strength" glass, unless otherwise noted. Performance with "Double Strength" glass, different reinforcement levels, may vary. Performance with 1" grids may vary. Select glass types shown — others are available subject to special inquiry.

A bit more technical...



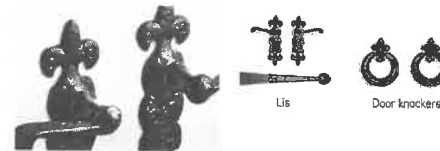
ARCH OVERLAY¹

Available for Princeton and Eastman
Always installed in the top section and only available with Panoramic windows or without windows

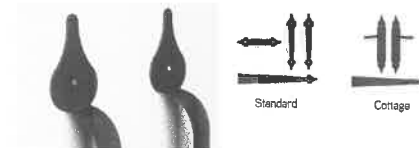


DECORATIVE HARDWARE³

Handmade wrought Iron texture



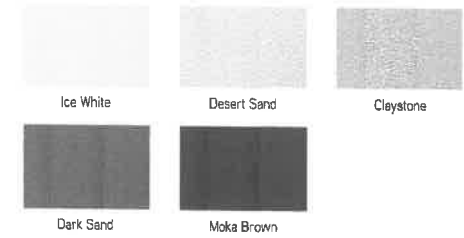
Slightly bumpy texture



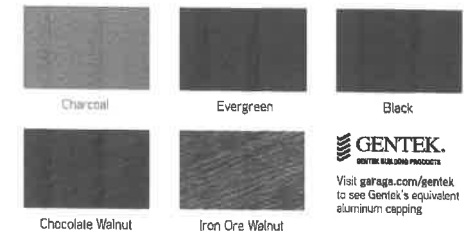
¹ Arch Overlay is not available in Chocolate Walnut and Iron Ore Walnut
² "Without windows" option is not available for Princeton
³ Available for Princeton and Eastman
⁴ Visit garaga.com/premiumcolors to learn more about Garaga's Premium Colors

PANEL COLORS

Standard



Premium⁴



GENTEK.
CENTRAL BUILDING PRODUCTS
Visit garaga.com/gentek to see Gentek's equivalent aluminum capping

OVERLAY COLORS



IMPORTANT - CAMBRIDGE LAYOUTS

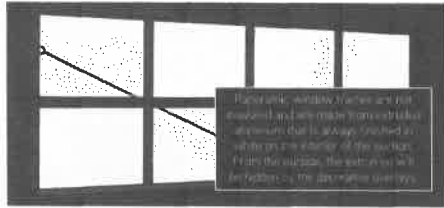
Due to the architecture, section heights are not identical.



WINDOWS

Panoramic, Orion and Types of Glass windows can only be installed in the top section.

Panoramic



The squares widths vary depending on the design and size of the chosen door. Note that no matter what door color you choose, the inside of the Panoramic section is always White.



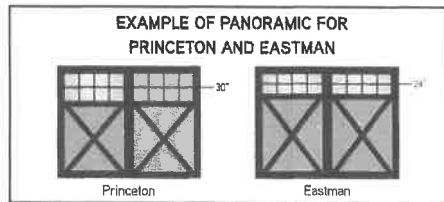
Without grids (with Clear, Sandblasted or Pinhead)



4 vertical lites (with Clear or Sandblasted glass)



8 lites¹ (with Clear or Sandblasted glass)



EXAMPLE OF PANORAMIC FOR PRINCETON AND EASTMAN

Princeton Eastman

SIZES

Widths from 8' to 18', in 1" increments. Heights in 3" increments; Eastman and Cambridge from 6'6" to 8', Princeton from 7' to 8'. See your garage door dealer for more details on oversized doors available.

WARRANTY

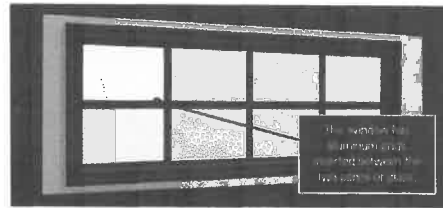
Door sections: limited lifetime
Windows: 10 years against seal defects
1 year for thermal break
Dura+ hardware: 2 years

Decorative PVC moldings:
10 years (discoloration)
5 years (delamination)
Weatherstripping: 1 year

¹Not available for Cambridge CM and CS layouts
²Not available for Cambridge and Princeton layouts

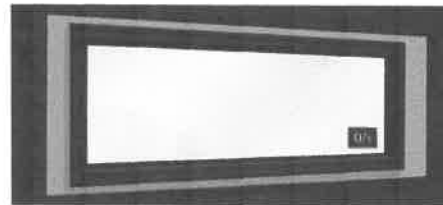
³Clear 40" x 13" thermopane glass is also available with the Low-E Argon energy option.

Orion (40" x 13")²



Types of glass (40" x 13")²

Privacy Level: **X/X**



Clear³



COORDINATES WITH

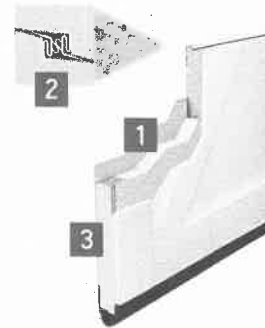
Novatech

Garaga is proud to collaborate with the entry door manufacturer Novatech so we can offer products that go together perfectly.

See what coordinates with our garage doors and window, visit garaga.com/novatech or scan the QR code.



Novatech



GARAGA CONSTRUCTION MAKES ALL THE DIFFERENCE

3 layers, polyurethane insulation

- 1 Polyurethane insulation acts as a thermal break to prevent transfer of cold or heat
- 2 InterLok™ joints block air infiltration for superior thermal insulation
- 3 Wood end blocks are one of the most effective thermal breaks



In garage door comparison tests, Garaga wins hands down. Watch our 45-second video at garaga.com/lab.



To save energy, all components of a garage door must be taken into consideration (joints between sections, weatherstripping, end blocks, etc.) and not just its thermal resistance R-value as that only refers to the construction of the sections.



R-16 construction

IN-GARAGE DELIVERY READY
with a reliable Garaga garage door!

Find out the must-haves and the steps to get started. Keep your online deliveries safe, visit garaga.com/ingaragedelivery or scan the QR code.

GARAGA LiftMaster myQ

PATIO DOOR Options



Blinds Between Glass

Blinds Between Glass offer an easy and convenient way to enjoy the look and privacy of conventional blinds with none of the hassle, which makes them the perfect add-on for Harvey Vinyl Patio doors.

Energy Star 6.0 glass included. Available for Harvey solid vinyl patio door only. 2-4 lite configurations have the option for fiberglass screen. Not available with grids.

Benefits Include:

PRIVACY

BBG are adjustable and can be raised, lowered and tilted

LIGHT CONTROL

Allowing the sun in, or not, helps control household temperature

CONVENIENCE

Minimal reaching and stooping to operate the blinds

SAFETY

Cords and blinds are encased providing safety for children and pets

DÉCOR

Clean, efficient look with no need for bulky window treatments

NO DUSTING

Conventional blinds attract dust and are difficult to clean; Blinds Between Glass solve both these problems!

OPTIONS

Painted finishes available (blinds remain White)

Non-keyed handle set and flushmount deadbolt included

610 heights available; Custom sizes available

CONFIGURATIONS

1 lite: 2668 and 3068

2 lite: 5068 and 6068 XO AND OX

3 lite: 9068 OXO (left and right), and XOO/OOX

4 lite: 10068 and 12068 OXXX



SETUP/EXTERIOR CASING VINYL

Frame set-up only or fully set-up (frame & panels) available on any 2-wide door

Exterior Factory 908 or 3" flat

- ▶ Includes frame set-up
- ▶ Not available on non set-up doors or patio doors with transoms

OTHER OPTIONS VINYL

Multi-point lock options utilize 4 locking "claws" that engage simply by turning the knob

Grids come in 5/8" and 1" sizes

OTHER OPTIONS MAJESTY

Grids come in 3/4" or 1" for GBG and 7/8" or 1-1/4" for SDL

Foot bolt (Gliding)

Bronze sill

OTHER OPTIONS VINYL & MAJESTY

Custom grid configuration available

Double-active doors require two screens

Seacoast Hardware option for corrosion resistance; available in white or almond color-matched powder coat finish handle and includes Stainless Steel:

- ▶ Panel and screen rollers and roller track cover
- ▶ Fasteners, latch mechanism, offset keeper

Majesty & Vinyl

ENERGY STAR GLASS



◆ ThermoLock
■ ThermoLock 3X HPTG



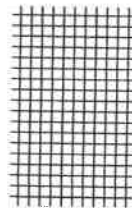
■ ThermoGuard

SCREEN | FRAME

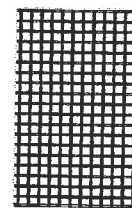


Aluminum

SCREEN | MESH



VIEWS



Aluminum (Vinyl)
Fiberglass (Majesty)

GRID | TYPE



GBG

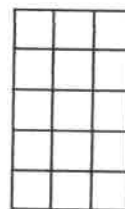


Exterior Applied

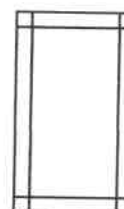


SDL

GRID | STYLE



Colonial



Prairie

COLORS | HARDWARE



White



Almond



Brushed Nickel



Black



Oil Rubbed Bronze

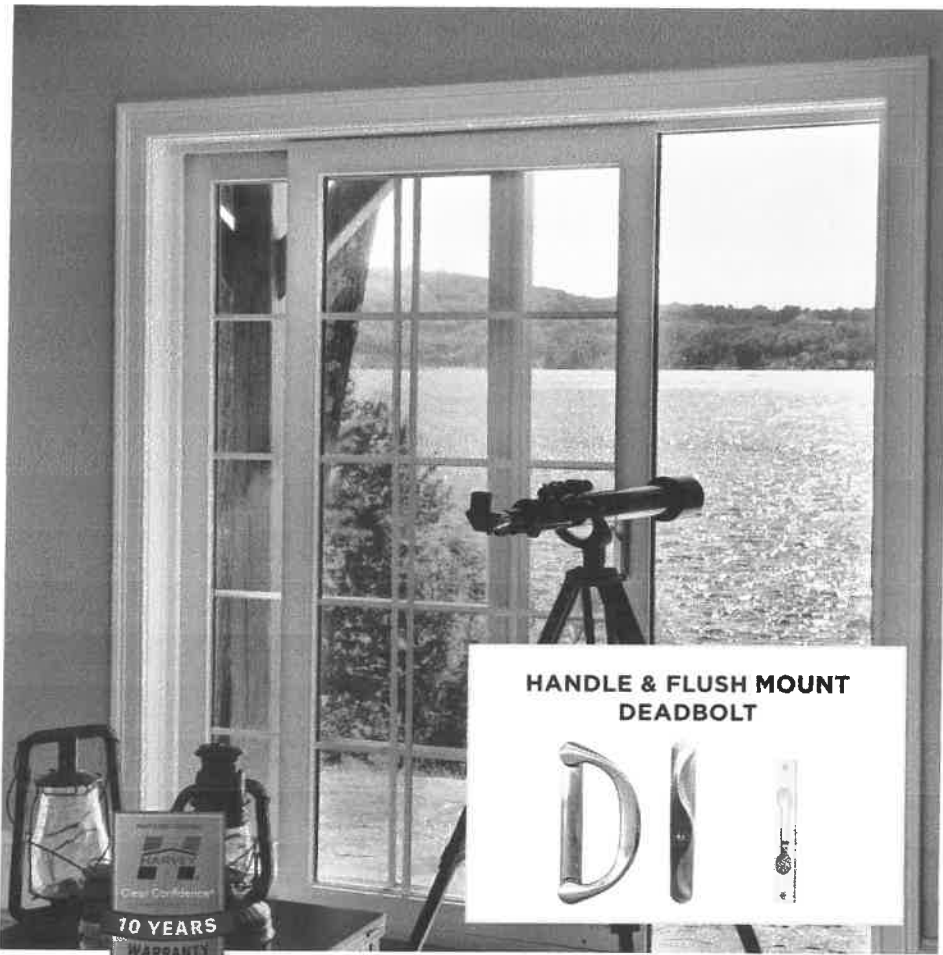


Brasstone

See Page 11 for Interior/ Exterior color options.

■ Vinyl Patio Doors Only ◆ Majesty Wood Patio Doors Only

PATIO DOOR Vinyl



INSTALLATION OPTIONS

Standard 4-9/16" jamb depth;
6-9/16" extension jambs available

610 size available for 82" height, size
6668 meets 32" clear opening needs

2, 3, and 4 lite design options



Along with standard sizes, Harvey vinyl patio doors can be custom-built to fit virtually any opening, so you get the look you want with the performance you expect.

Solidly constructed and reinforced with heavy-duty aluminum for added durability, they include welded sash corners to provide maximum strength, while multi-chambered frame extrusions further increase their stability and thermal efficiency.

Stocked Patio Doors:

- ▶ White only and 6068 Energy Star rated tempered glass
- ▶ OX or XO; X = Operating Panel; O = Fixed Panel (viewed from exterior)
- ▶ Non-keyed handle set and flushmount deadbolt included

Features

Energy Star glazing option available

Integral fin frame and screen track

Flushmount deadbolt standard on operating panels

Standard non-keyed hardware included, keylock option available

Blinds Between Glass option

THERMA TRU[®]
DOORS



HARVEY
BUILDING PRODUCTS

Entry Doors Systems



2019

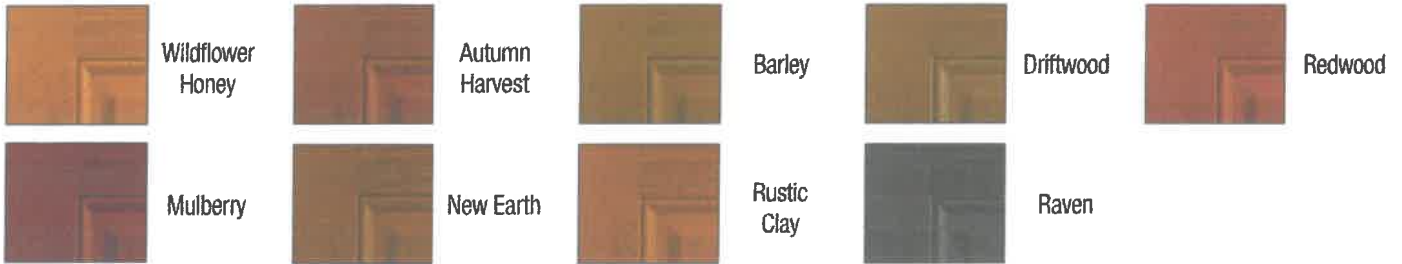
Harvey Prefinished Door Service

Our state-of-the-art process produces a resilient and durable finish that can't be duplicated in the field. We use an environmentally friendly, water-based finish with a very low solvent content that provides proven durability in all weather conditions. Additional benefits include lasting color vibrancy, expanded color and gloss retention, and high abrasion and humidity resistance. All of our finishes are backed by a 10-year warranty.



PRISMAGUARD™ FINISHES

Available for Classic-Craft and Fiber-Classic doors.



SOLID COLOR FINISHES



Frame and Casing Prefinishing Options

	Frame	Brickmould Casing	Flat Casing
Wood Grain Composite	✓	✓	✓
White Vinyl Clad Composite	✓	✓	✓
Clear Pine	✓	✓	N/A
Primed Finger-Joint	✓	✓	✓

- Wood grain composite jambs and casing can be prefinished with wood grain or solid colors, or finished in the field
- White vinyl clad composite jambs and casing can be prefinished with solid colors only, or painted in the field
- Prefinished jambs are available with a split finish
- Prefinished casing is applied; nail holes need to be finished on-site (touch up paint is included)
- Primed finger-joint and clear wood jambs and casing are not available prefinished
- See page 42 for details on casing profiles

Due to printing limitations, finishes and colors shown in this brochure are for representation only.

Jamb and Sill Options

Jambs

Can be factory finished.



Wood Grain Composite

White Vinyl Clad Composite

Clear Pine

Primed Finger-Joint



Sills

Mill finish fixed composite sill standard. Adjustable composite sills available in all finishes; hardwood sills are mill finish only.



Mill finish (standard)



Bronze finish



Satin Nickel



Outswing



Mill public access



Bronze public access

Primed finger-joint

Comparable to Framesaver™ by Therma-Tru, the primed finger-joint offers great performance at a competitive price point.

- Dimensional stability: reduces swelling and shrinkage by 75% or more
- Barrier to insect and fungal decay
- Resistance to UV degradation

Jamsill Guard®

The Jamsill Guard® is an adjustable sill pan flashing proven to prevent damage caused by exterior door and window leaks.

DualGuard Threshold Tape

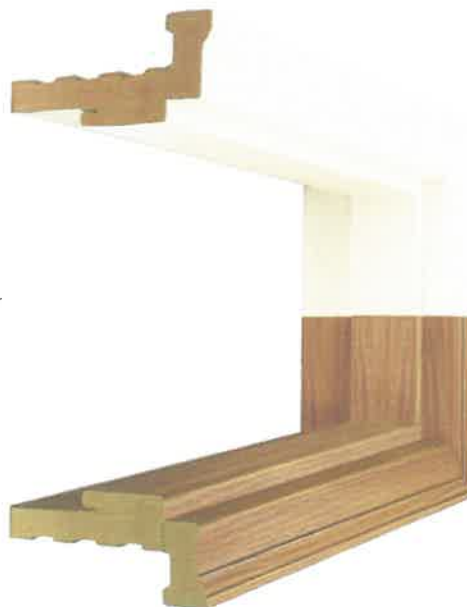
Manufactured by ProtectoWrap, Dual Guard Threshold Tape™ acts like a gasket, sealing off the sub-floor and preventing air and moisture infiltration under the threshold to help keep the door frame from racking and the sub-floor from swelling and warping.

- Adheres to concrete, wood and metal surfaces
- Self-adhering for precise placement and easy application
- Designed for all entry/patio doors

Composite Frames & Casings

An innovative alternative to traditional wood jambs.

- Closed Cellular Structure ensures that the door frame will not absorb or wick moisture, and prevents warping, rotting, and splitting
- Rigid Poly-Fiber Formulation eliminates the need for an aluminum support channel
- Twice the screw-holding power of traditional wood door frames
- Limited Lifetime Warranty



Wood Grain Composite

Can be prefinished wood grain and solid colors, or finished on-site



White Vinyl Clad Composite

Can be left as-is, prefinished with a solid color, or painted on-site

See next page for composite casing profiles

Casing Options

Exterior Casings

WGN Composite casing wood grain

- A) Brickmould
- B) Brickmould w/nail fin
- C) Brickmould w/j-channel
- D) 3-1/2" flat no j
- E) 3-1/2" flat w/j-channel

WCP Composite casing white vinyl clad

- F) Brickmould
- G) Brickmould w/nail fin
- H) Brickmould w/j-channel
- I) 3-1/2" flat no j
- J) 3-1/2" flat w/j-channel

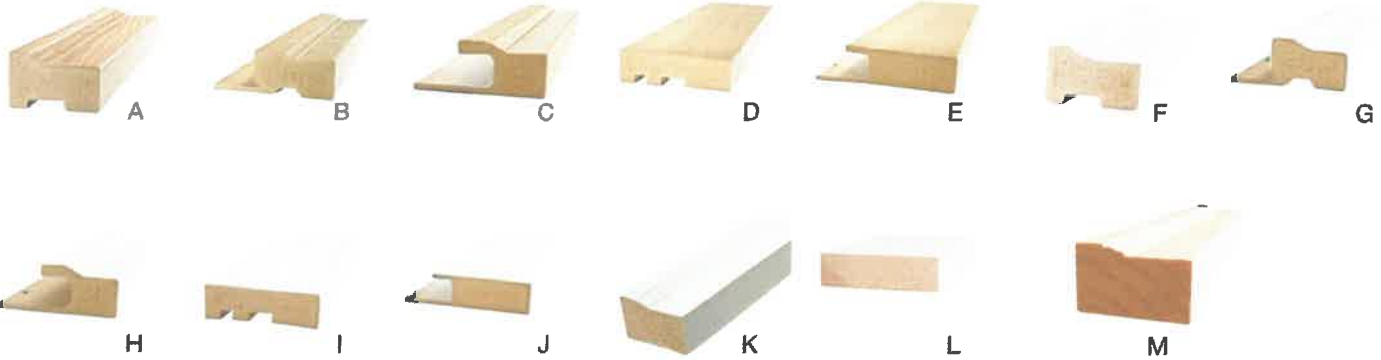
Prime finger-joint (PFJ)

- K) Brickmould
- L) 3-1/2" flat (5/4 x 4)

Clear wood casing

- M) Clear Pine brickmould

See previous page for information about our composite casing



Interior Trim Kits



2-1/2 Colonial
WM351



2-1/2 Ranch/Clamshell
WM 315/8730



2-1/4 Colonial
WM366



2-1/4 Beaded Colonial
WM376



3-1/2 Colonial
WM444



3-1/2 Windsor
LGM 7/B200



3-1/2 Stafford
GM 650/B225

Available primed
and Clear Pine

Hardware

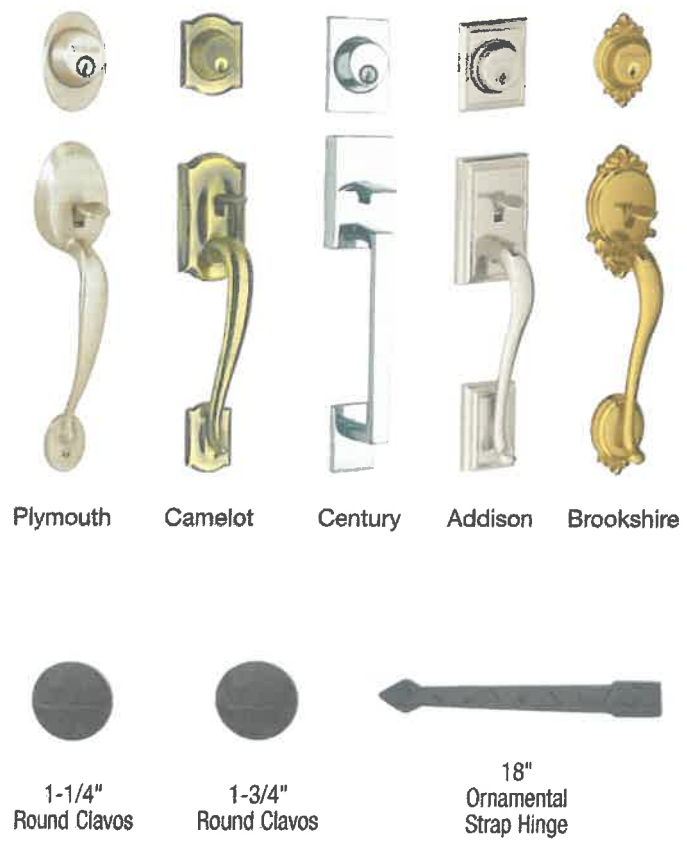
Knobs and Levers



Deadbolts



Handlesets



Finishes



*The dark color on the Oil Rubbed Bronze finish may wear off over time due to the finishing method which has no protective coating or plating. Aged Bronze should be used for a more permanent dark bronze color.

Styles/functions not available in every finish. Check with your local branch for availability.
Due to printing limitations, finishes and colors shown in this brochure are for representation only.



Hardware



Therma-Tru® multi-point locking handle set



Heirloom narrow plate



Brass



Brushed Nickel



Black Nickel



Millennium narrow plate



Brushed Nickel

Hinges



Brushed Nickel



Polished Chrome



Brasstone (standard)



Oil Rubbed Bronze



Bright Brass

Kickplates (34" x 8")

Available in Satin Nickel or Solid Brass



Peepsites



Brass



Satin Chrome

Baldwin® mailslots



Brass



Satin Nickel

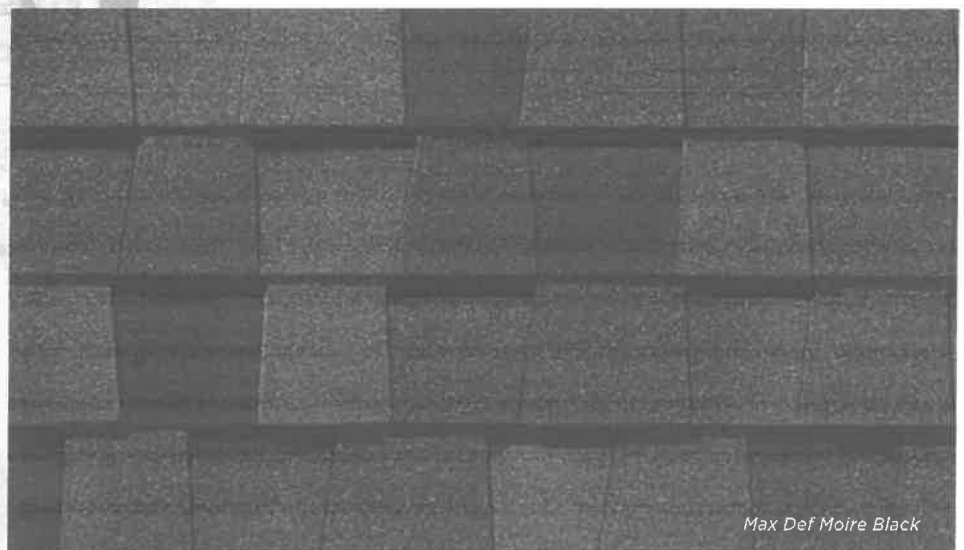


The Expert's Choice

LANDMARK® PRO Architect 80

A refined union of vision and value,
our PRO line leads its class in optimal
performance and variety of color.

- Engineered to meet professional contractors' exacting specifications
- Available in a wide selection of eye-catching **Max Def** colors
- Outweighs standard laminates to provide greater protection from the elements



Landmark PRO, shown in Max Def Moire Black

See next page for full color palette.



Max Def Weathered Wood



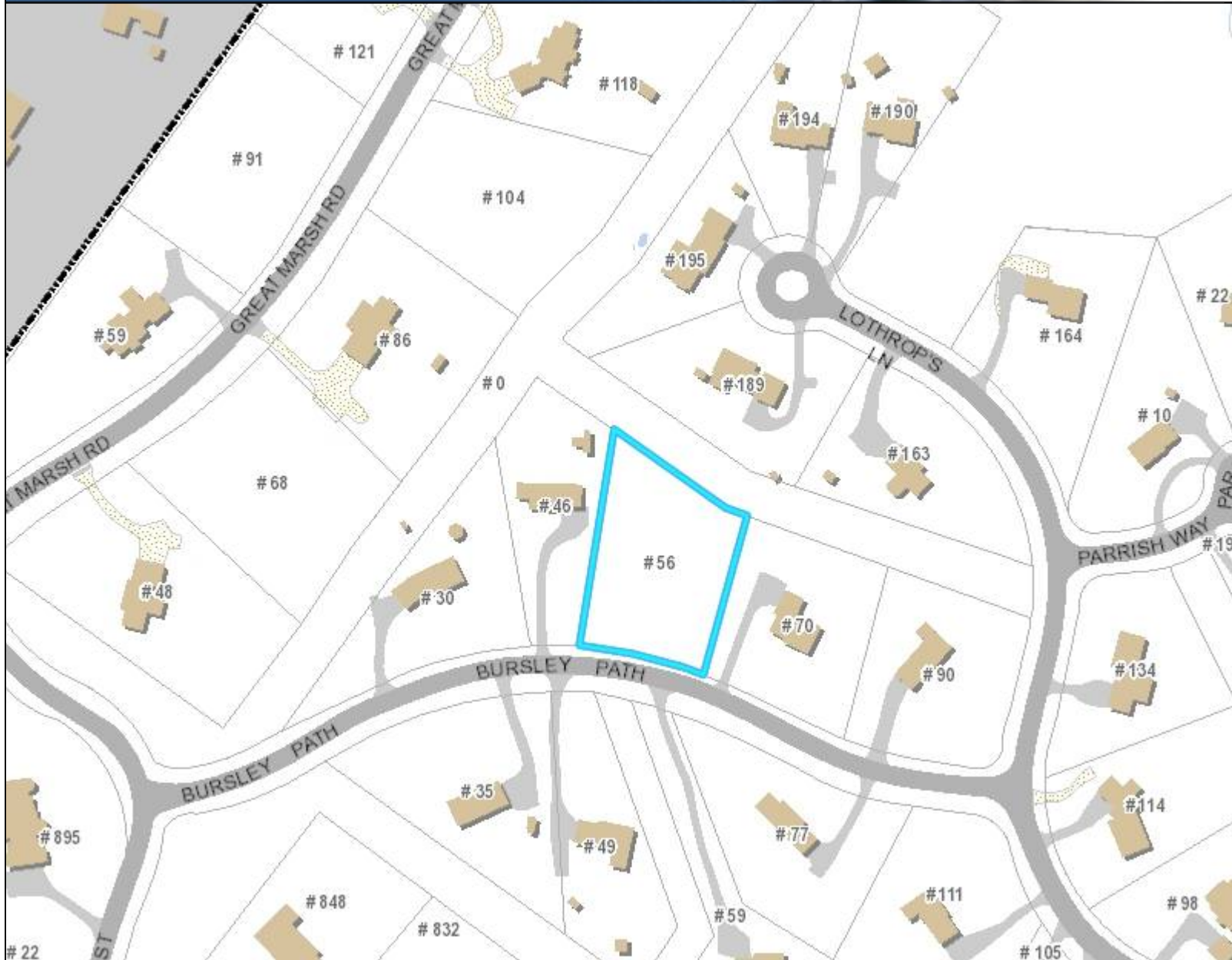
Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 11/10/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

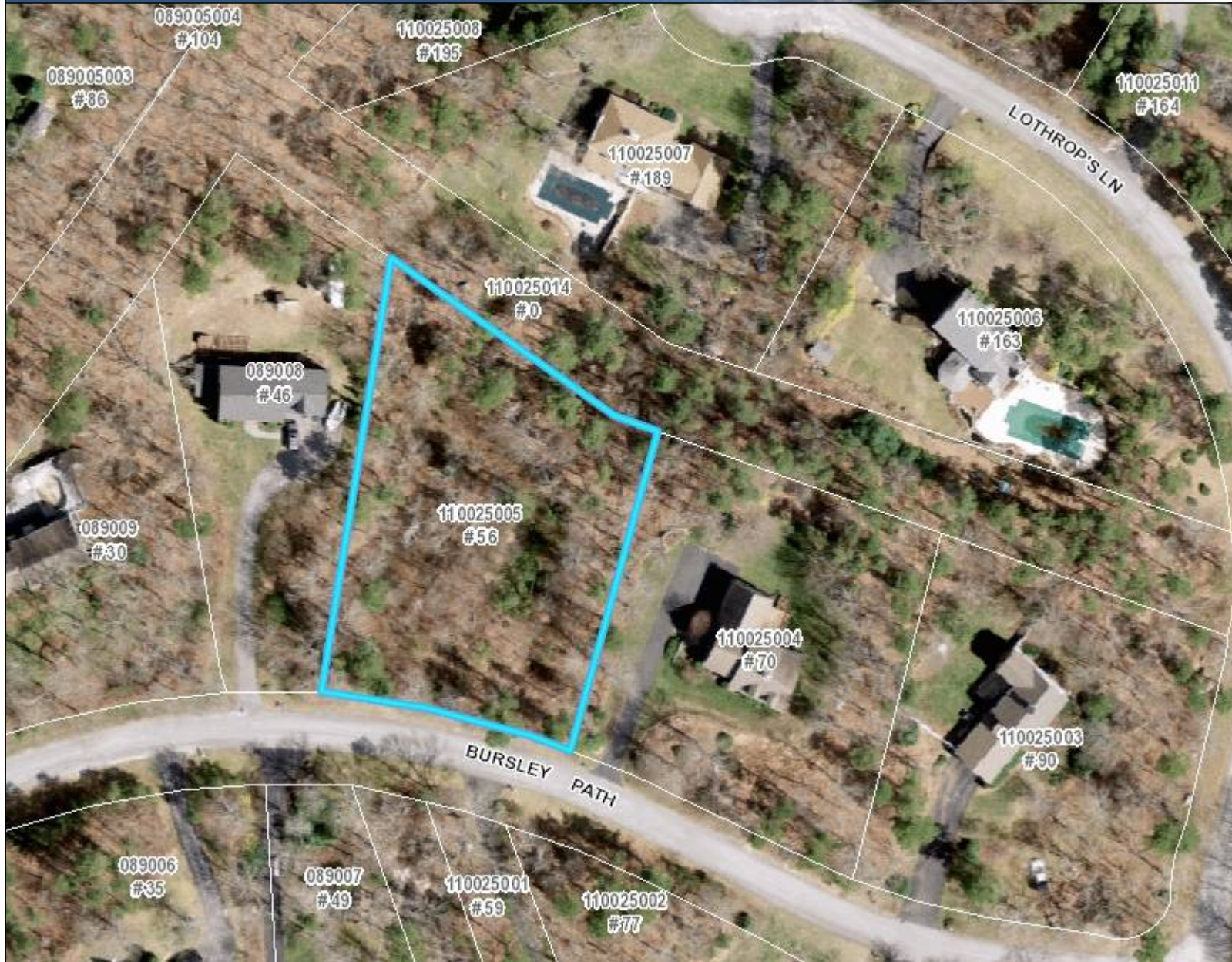
367 Main Street, Hyannis, MA 02601

508-862-4624

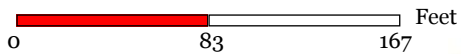
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 11/10/2020



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

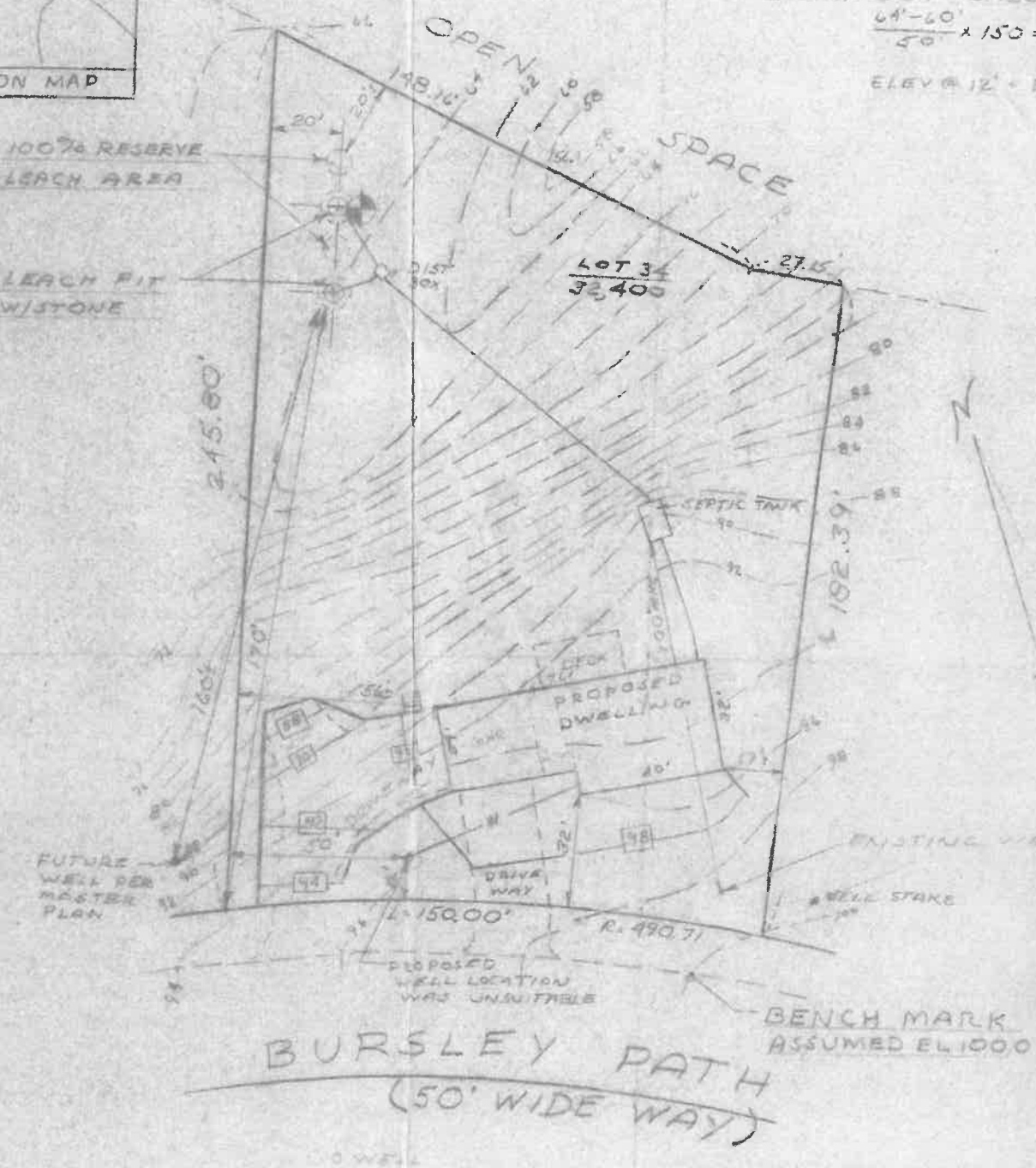
508-862-4624

gis@town.barnstable.ma.us

LOCATION MAP

100% RESERVE
LEACH AREA

LEACH PIT
W/STONE



PLAN SCALE: 1" = 30'

CAUTION: CONTRACTOR TO CONTACT DIG-SAFE 72 HOURS PRIOR TO EXCAVATION!

ZONING DATA

ZONE:	<u>RESIDENT</u>	RF - OPEN SPACE
REQUIRED AREA:	<u>43,560</u>	<u>32,470</u>
REQUIRED FRONTAGE:	<u>150</u>	<u>112.5'</u>
REQUIRED FRONT SETBACK:	<u>30</u>	<u>22.5'</u>
REQUIRED SIDE SETBACK:	<u>15</u>	<u>11.25'</u>
REQUIRED REAR SETBACK:	<u>15</u>	<u>11.25'</u>

LEGEND

TEST HOLE LOCATION	
EXISTING SPOT ELEVATION	17.6
EXISTING CONTOUR	16
PROPOSED CONTOUR	16
WATER SERVICE LINE	W
GAS SERVICE LINE	G
ELECTRIC & TELEPHONE LINES	E & T

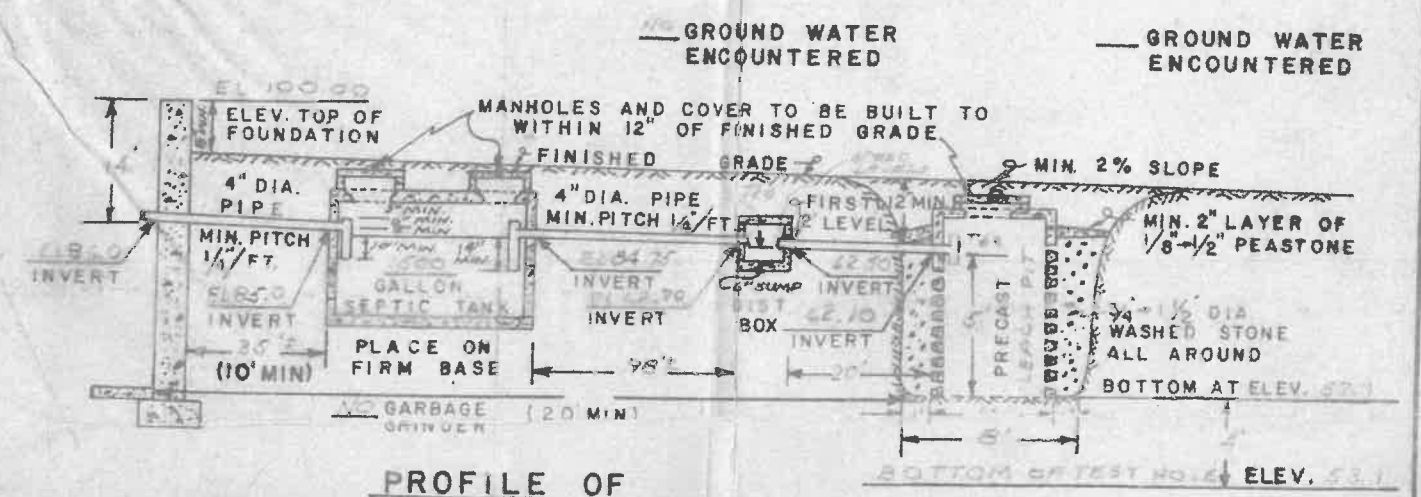
BUILDING INSPECTOR APPROVAL DATE

HIGH GROUND-WATER ADJUSTMENT:

OBSERVED WATER DEPTH	N/A
INDEX WELL	---
WATER RANGE ZONE	---
CURRENT WELL DEPTH	---
WATER ADJUSTMENT	---
ESTIMATED DEPTH TO WATER	---
ESTIMATED MAX. WATER ELEV.	---

WITNESSED BY: TOM M'KEAN SR
DOYLE ENGINEERING

TEST HOLE #1	ELEV.	TEST HOLE #2	ELEV.
31' 0" DIA.	EL. 62.1		
4" DIA. PIPE	EL. 67.1		
4" DIA. PIPE	EL. 53.1		



PROFILE OF SANITARY DISPOSAL SYSTEM (NOT TO SCALE)

- CONSTRUCTION OF SEPTIC SYSTEM SHALL CONFORM TO THE COMM. OF MASS. ENVIRONMENTAL CODE, TITLE 5 AND THE TOWN BOARD OF HEALTH REGULATIONS.
- THE DESIGN IS TO BE STRICTLY FOLLOWED. CRAIG R. SHORT IS TO BE CONTACTED PRIOR TO ANY CHANGES.
- SEPTIC TANK, DISTRIBUTION BOX AND LEACHING UNIT TO BE OF REINFORCED CONCRETE. MIN. CONCRETE STRENGTH = 3,000 P.S.I. MIN. STEEL STRENGTH = 20,000 P.S.I. MIN. DESIGN LOADING: 410
- DRIVEWAYS NOT TO BE LOCATED OVER SYSTEM UNLESS H2O DESIGN LOADING IS USED
- ALL PIPES AND FITTINGS TO BE WATERTIGHT AND TO BE OF CAST IRON OR APPROVED P.V.C.

DESIGN DATA

5	BEDROOMS
DESIGN FLOW	<u>550</u> GAL/DAY
LEACH RATE	<u>24</u> MIN./INCH
PROP'D. BOT. AREA	<u>100.5</u> SF
PROP'D. SIDE AREA	<u>257.3</u> SF
TOTAL AREA =	<u>357.8</u> SF
PROPOSED LEACHING CAPACITY	<u>586</u> GPD
REQUIRED LEACHING CAPACITY	<u>550</u> GPD
REQUIRED SEPTIC TANK	<u>500</u> GALLONS

HEALTH AGENT APPROVAL DATE

SITE PLAN SHOWING PROPOSED CONSTRUCTION

LOCATION: LOT 34 BURSLEY PATH, W. BARNSTABLE, MA
 FOR: PATRICK LEVNIHAN DATE: 3/19/95
 REFERENCE: LOT 34 AS SHOWN ON REVISIONS: 7/24/97
 MAP NO. PAR. 5 PLAN BOOK 418 PAGE 55
 CLIENT'S ADDRESS: 276 SOUTH ST. HARNWICH, MA 02645
 IF THIS PLAN DOES NOT BEAR A RED STAMP BY CRAIG R. SHORT, THEN IT IS NOT A VALID COPY & I ASSUME NO RESPONSIBILITY FOR ITS CONTENT OR USE.



CRAIG R. SHORT, P.E.

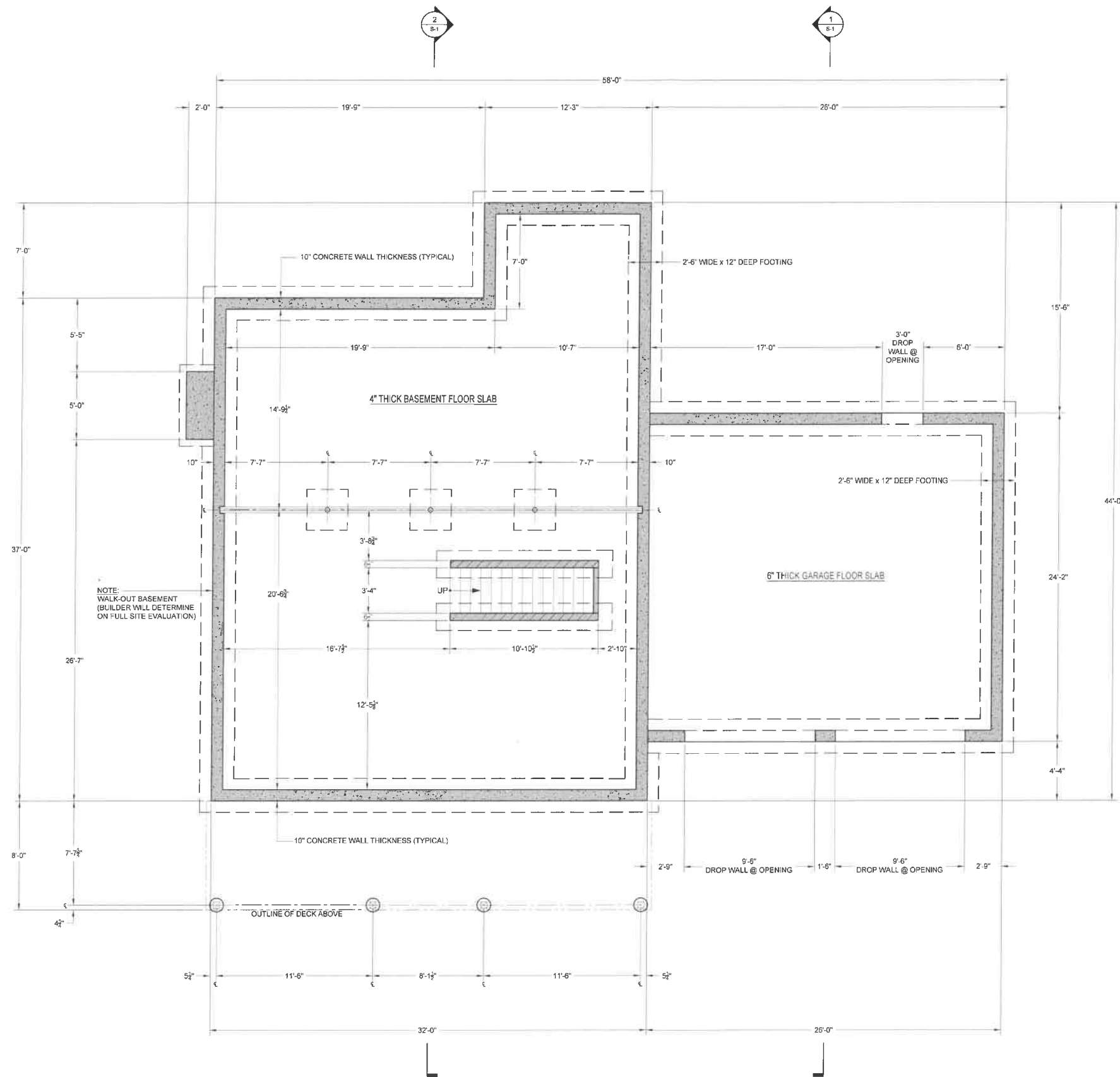
PROFESSIONAL CIVIL ENGINEER
14 TORY LANE, DENNIS, MASS. 02638

(508) 385-6530

FILE NO. 1-782

SHEET 1 OF 1

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BASEMENT / GARAGE PLAN

SCALE: 1/4" = 1'-0"

"2020 ARCHITECTURAL & STRUCTURAL DRAWINGS"

DRAWING BY T.D.I.

T.D.I.

TECHNICAL DESIGNS IMAGING
Computer Aided Designs

Glenn A. Mitchell

775 MAIN STREET (Route 28), SUITE A2
WEST DENNIS, MA 02670
Work: (508) 360-7506

Email: technicaldesignsimg@gmail.com
Web Page: http://draftmaster001.wix.com/tdi

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- 42 YEARS EXPERIENCE -
- ALL WORK GUARANTEED -

DESIGN / DRAFTING EXPERIENCE:

* ARCHITECTURAL * STRUCTURAL * CIVIL * MECHANICAL *

Comments

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CLIENT:

Jd SULLIVAN
BUILDERS

MCCULLOUGH
RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED
BASEMENT /
GARAGE
PLAN

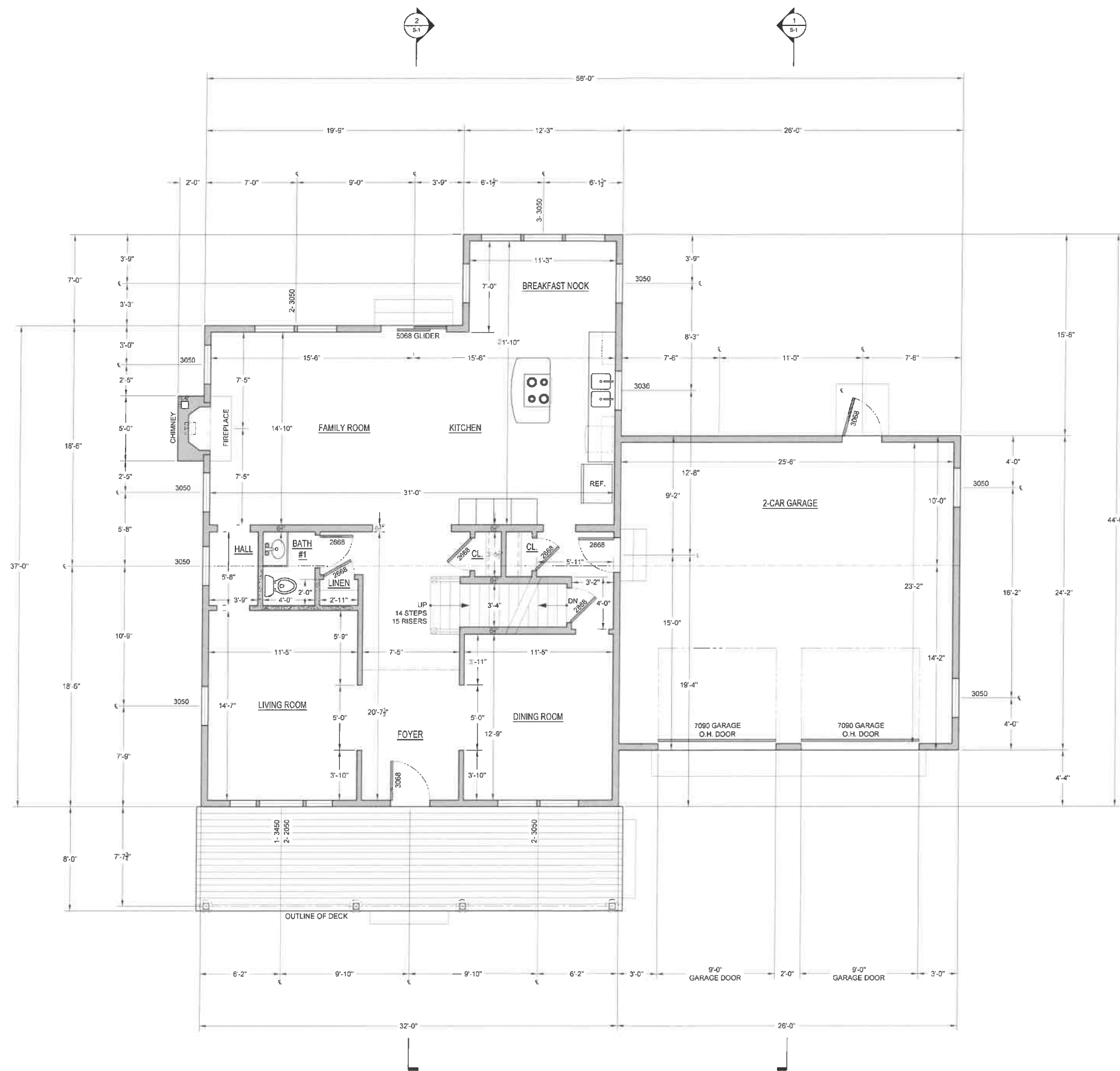
FOUNDATION
PLAN

DRAWING NUMBER

A-1

SHEET 2 OF 13

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GARAGE / 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

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W. BARNSTABLE, MA

SCALE: AS NOTED

PROPOSED GARAGE /
1st FLOOR PLAN

BEARING WALL PLAN

DRAWING NUMBER

A-2

SHEET 3 OF 13

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McCULLOUGH RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

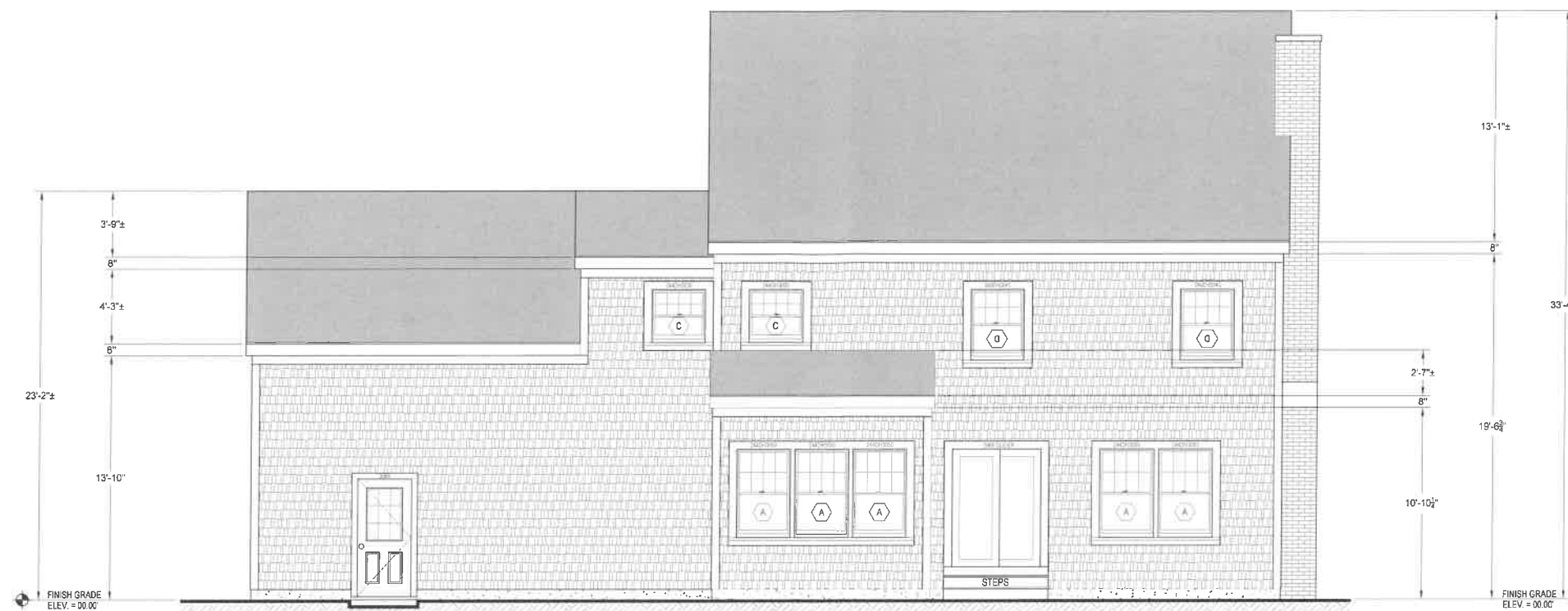
PROPOSED
REAR &
LEFT SIDE
ELEVATIONS

ELEVATIONS

DRAWING NUMBER

A-6

SHEET 7 OF 13



REAR ELEVATION
SCALE: 1/4"=1'-0"

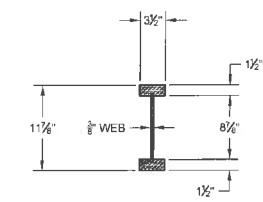


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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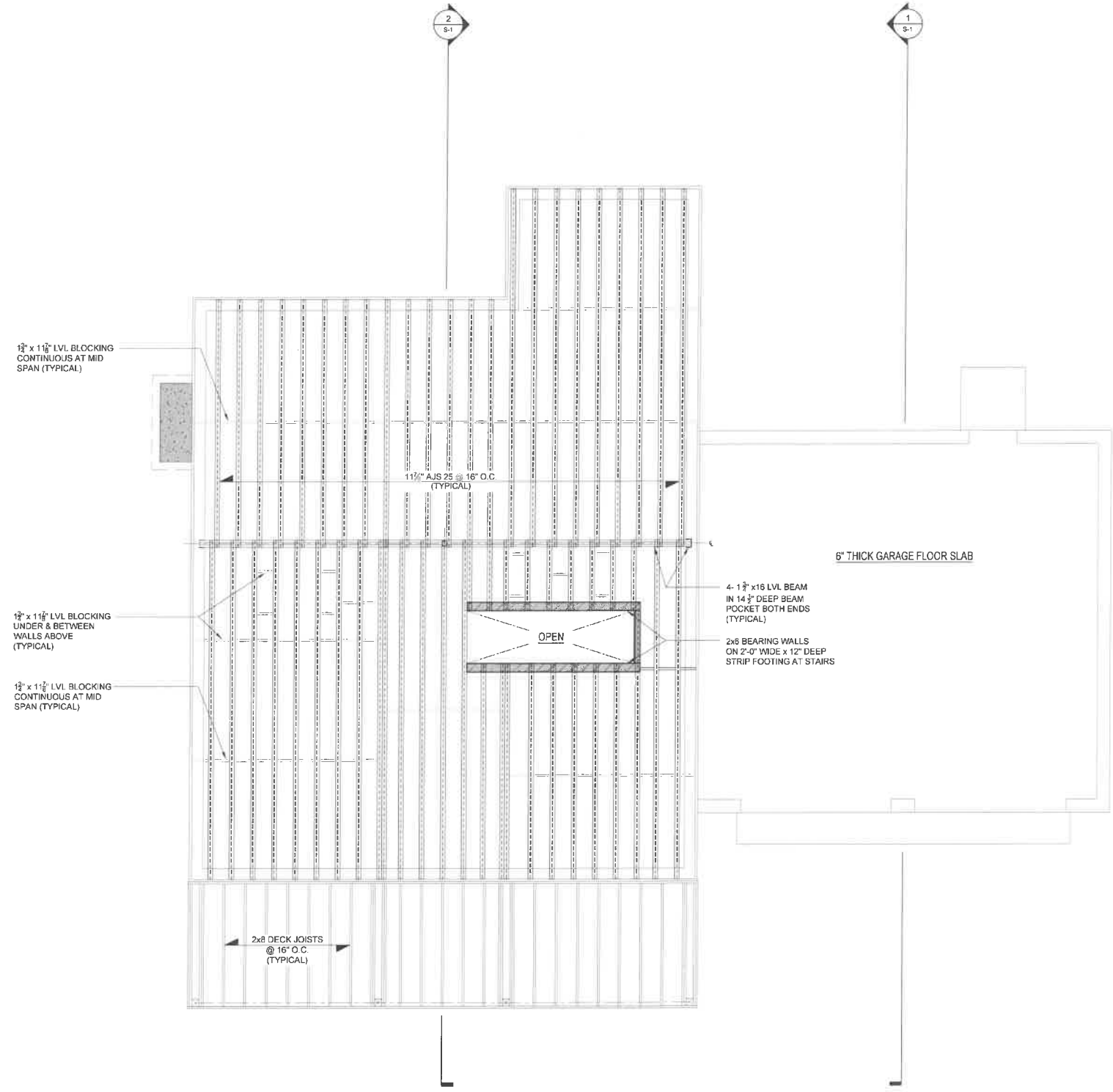
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ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:
USE RECOMMENDED ALL JOIST, VERSA-LAM RIM BOARDS, VERSA-LAM COLUMN, VERSA-LAM BEAM & ALL RECOMMENDED HARDWARE
(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

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McCULLOUGH RESIDENCE
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W. BARNSTABLE, MA

SCALE: AS NOTED

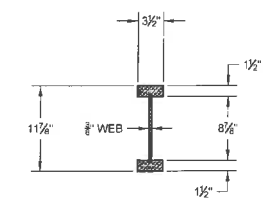
STRUCTURAL FIRST FLOOR FRAMING PLAN

PLAN

DRAWING NUMBER
S-3
SHEET 10 OF 13

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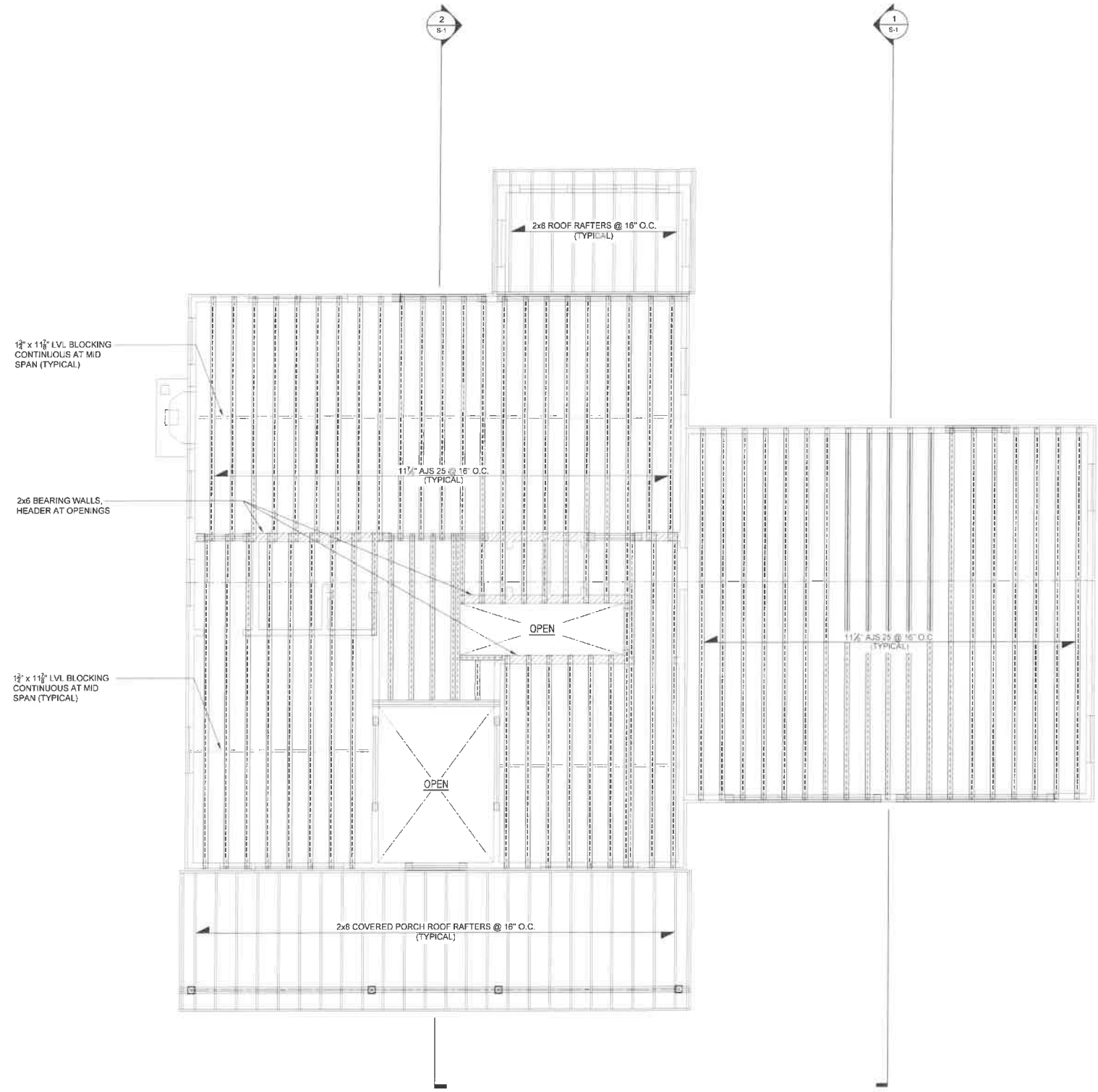


ALL JOIST - AJS 25

(22'-9" MAXIMUM LENGTH)
DO NOT SCALE

NOTE:

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(SEE SHEET S-6 OR ALL JOIST MANUFACTURER WEB SITE FOR INSTALLATION REQUIREMENT)



SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

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McCULLOUGH RESIDENCE
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W. BARNSTABLE, MA

SCALE: AS NOTED

STRUCTURAL
SECOND FLOOR
FRAMING
PLAN

PLAN

DRAWING NUMBER
S-4
SHEET 11 OF 13

"2020 ARCHITECTURAL & STRUCTURAL DRAWINGS"
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Comments

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RESIDENCE
56 BURSLEY LANE
W. BARNSTABLE, MA

SCALE: AS NOTED

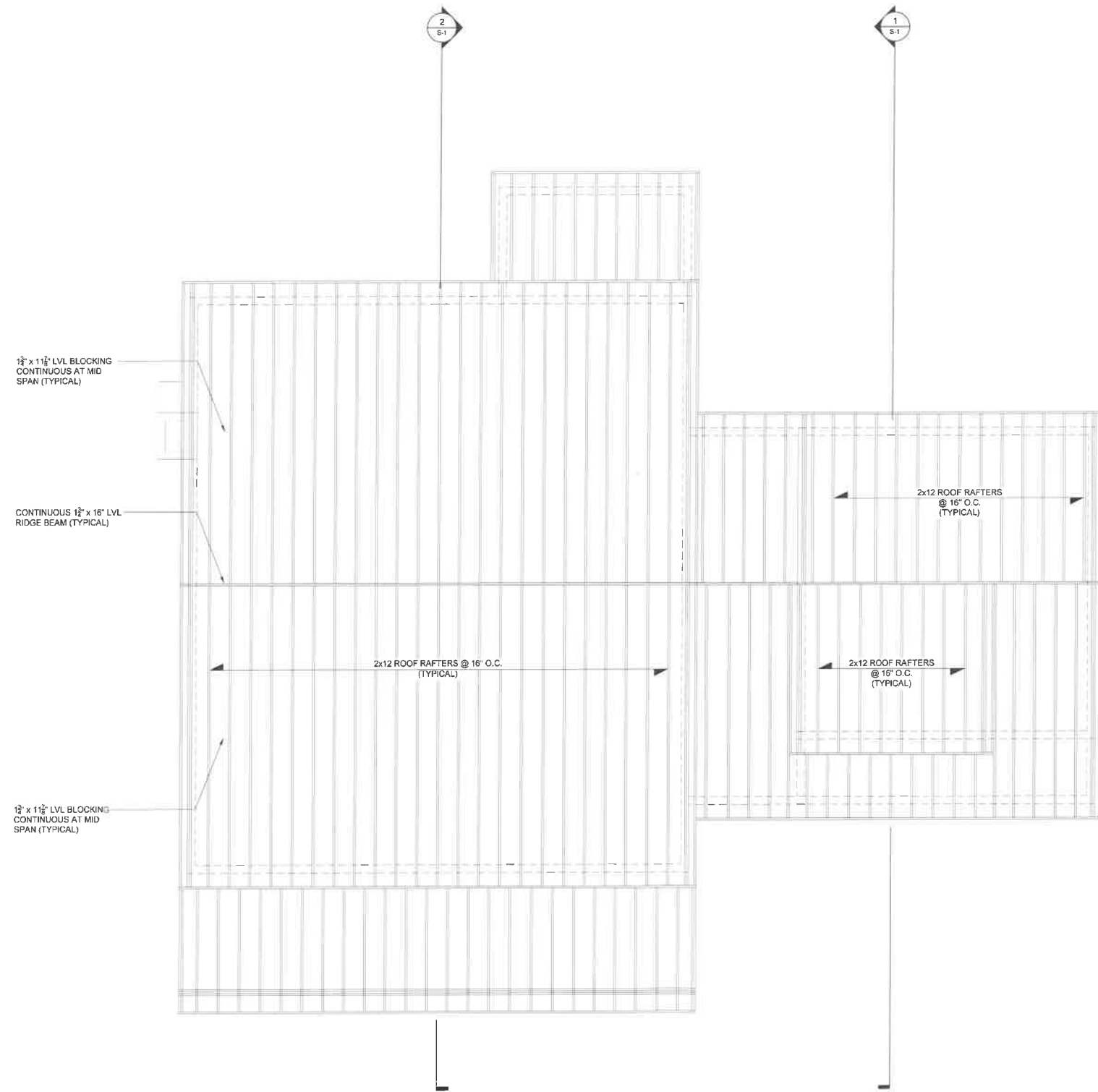
STRUCTURAL
ROOF
FRAMING
PLAN

PLAN

DRAWING NUMBER

S-5

SHEET 12 OF 13



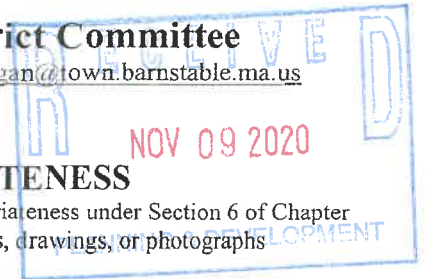
ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us



APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 11-1-20

NOTE: All applications must be signed by the current owner

Owner (print): Craig P Bishop Telephone #: 774 325 6650
 Address of Proposed Work: 1525 Hyannis Rd Village Barnstable Map Lot # _____
 Mailing Address (if different) _____

Owner's Signature Craig P Bishop

Description of Proposed Work: Give particulars of work to be done: Additions to existing structure
Plans included

Agent or Contractor (print): R Scott Jones Telephone #: 508 221 8572
 Address: _____ Email: R5J11@comcast.net
 Contractor/Agent' signature: R Scott Jones

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle other _____
Material: red cedar ___ white cedar other _____ Color: Natural

Chimney Material: _____ Color: _____

Roof Material: (make & style) Architectural Color: Match existing

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards 1x5 1x6 size of casings (1 X 4 min.) _____ color matching green

Rakes 1st member 1x8 2nd member 1x3 Depth of overhang 1 1/2

Window: (make/model) Andersen 400 material Vinyl / wood color wht
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None ___

Door style and make: Andersen 400 material Fiberglass Color: wht

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: Aluminum Color: wht

Deck material: wood other material, specify _____ Color: Natural

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

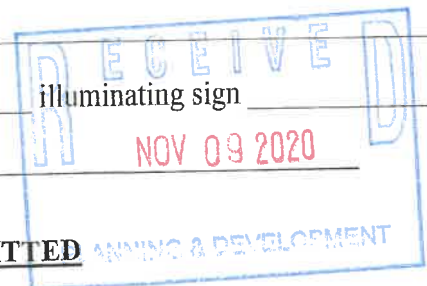
Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____

OTHER INFORMATION: _____



THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name R Scott Jones

5. SIGNS


- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer)  Print R Scott Jones

Date: 11-1-20 Tel. Phone no's: 508 221 9572
 Email R5J11@comcast.net

NOTE: The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS

ATTENDANCE AT MEETINGS: If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
<p>There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.</p>		

DENIALS

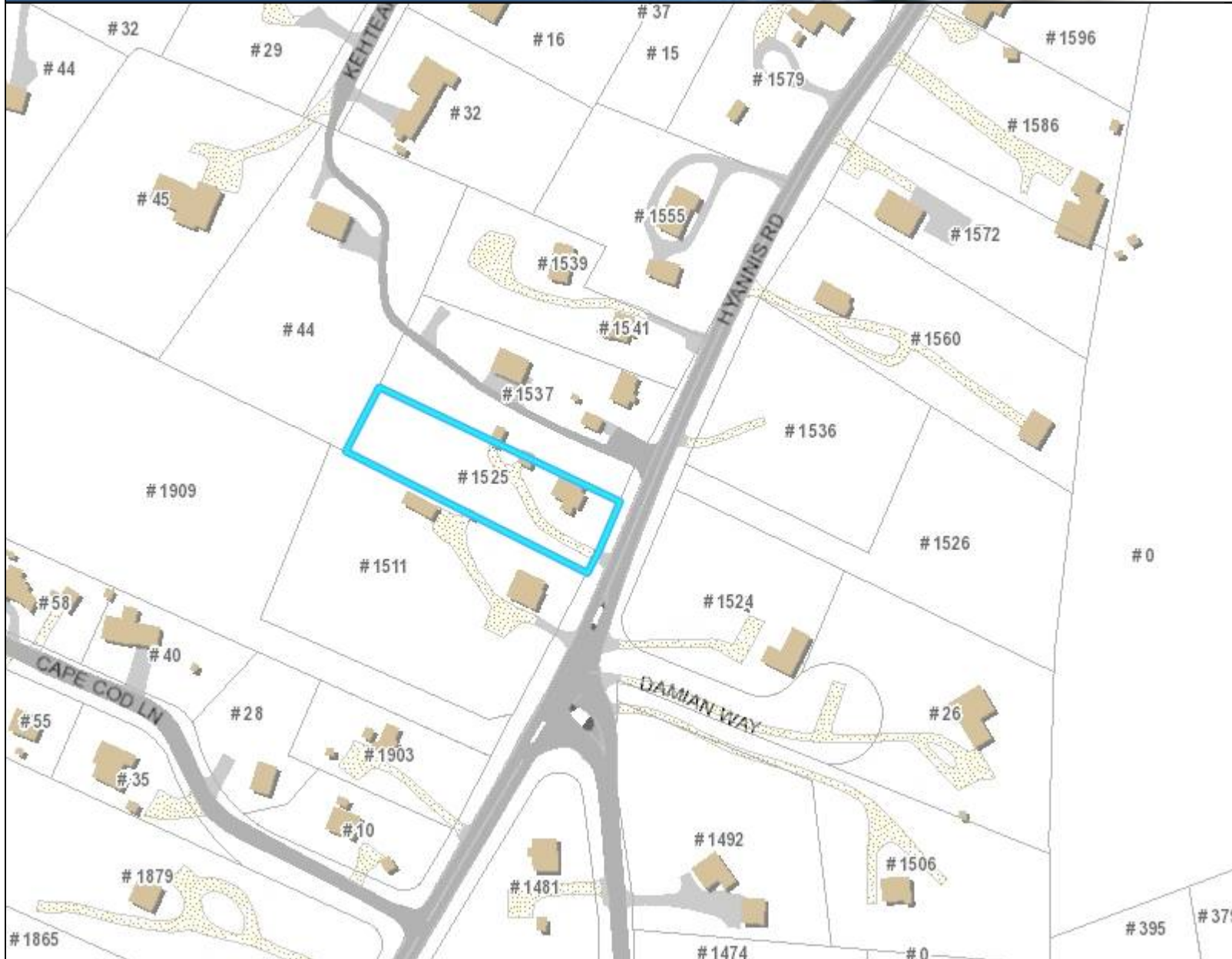
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BUILDING PERMITS, OTHER AGENCY CONTACTS

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QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 12/9/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 12/9/2020



Approx. Scale: 1 inch = 42 feet



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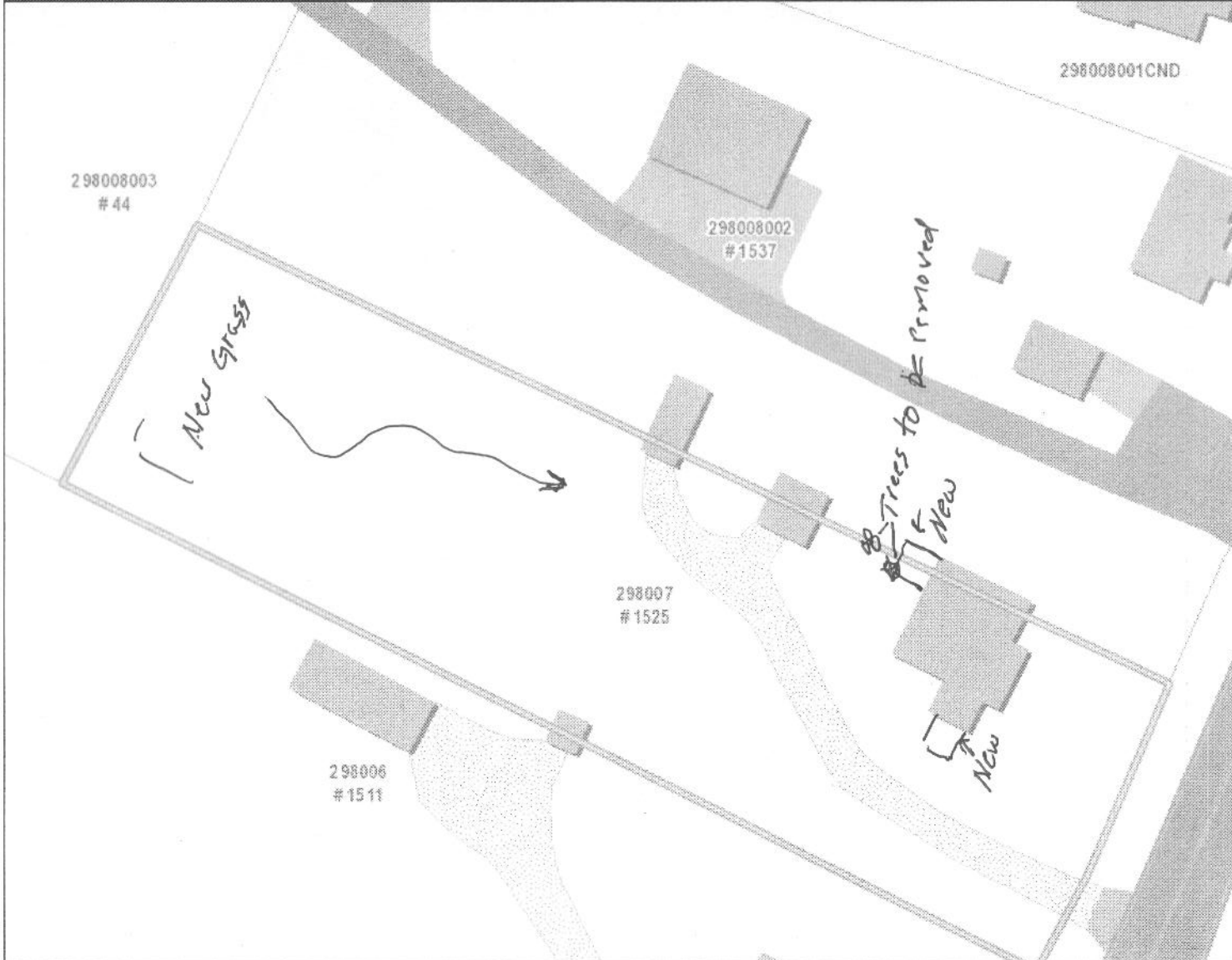


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

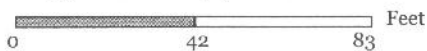
gis@town.barnstable.ma.us



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
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Map printed on: 12/1/2020



Approx. Scale: 1 inch = 42 feet



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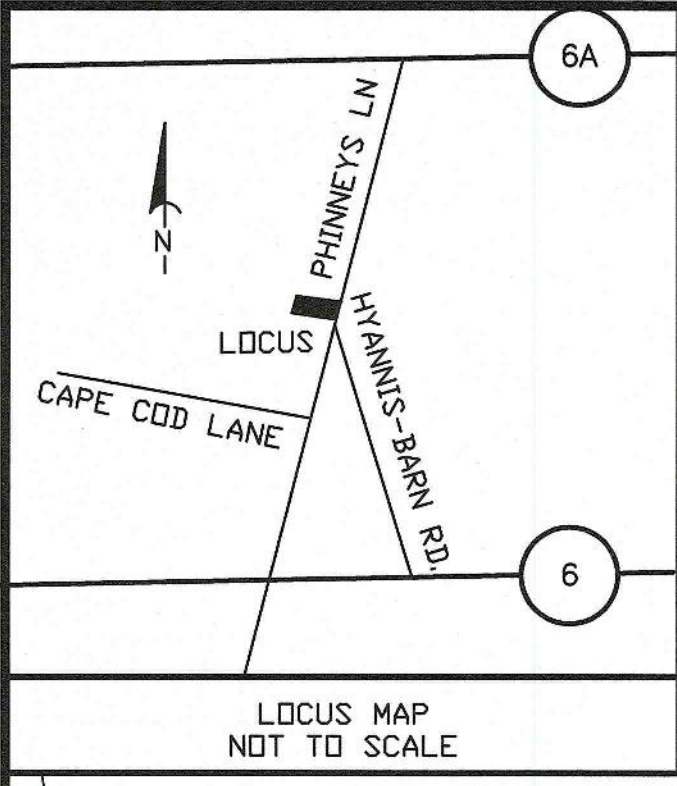


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



LOCUS INFORMATION

CURRENT OWNER:	CRAIG BISHOP	OVERLAY DISTRICT:	WP / O.K.H.
TITLE REFERENCE:	DEED BOOK 28489, PAGE 131	NITROGEN SENSITIVE ZONE:	ZONE II
PLAN REFERENCE:	PLAN BOOK 41, PAGE 103	FEMA FLOOD ZONE DISTRICT:	"X", DATED 7-16-2014 PANEL #25001C0558J
ASSESSORS MAP:	298	MINIMUM LOT SIZE:	65,000 S.F.
PARCEL:	007	EXISTING LOT SIZE:	30,073± S.F.
ZONING DISTRICT:	RG	EXISTING BUILDING COVERAGE:	1,616± S.F. (5.4%)
SETBACKS:	FRONT 30' SIDE 15' REAR 15'	PROPOSED BUILDING COVERAGE:	3,080± S.F. (10.3%)

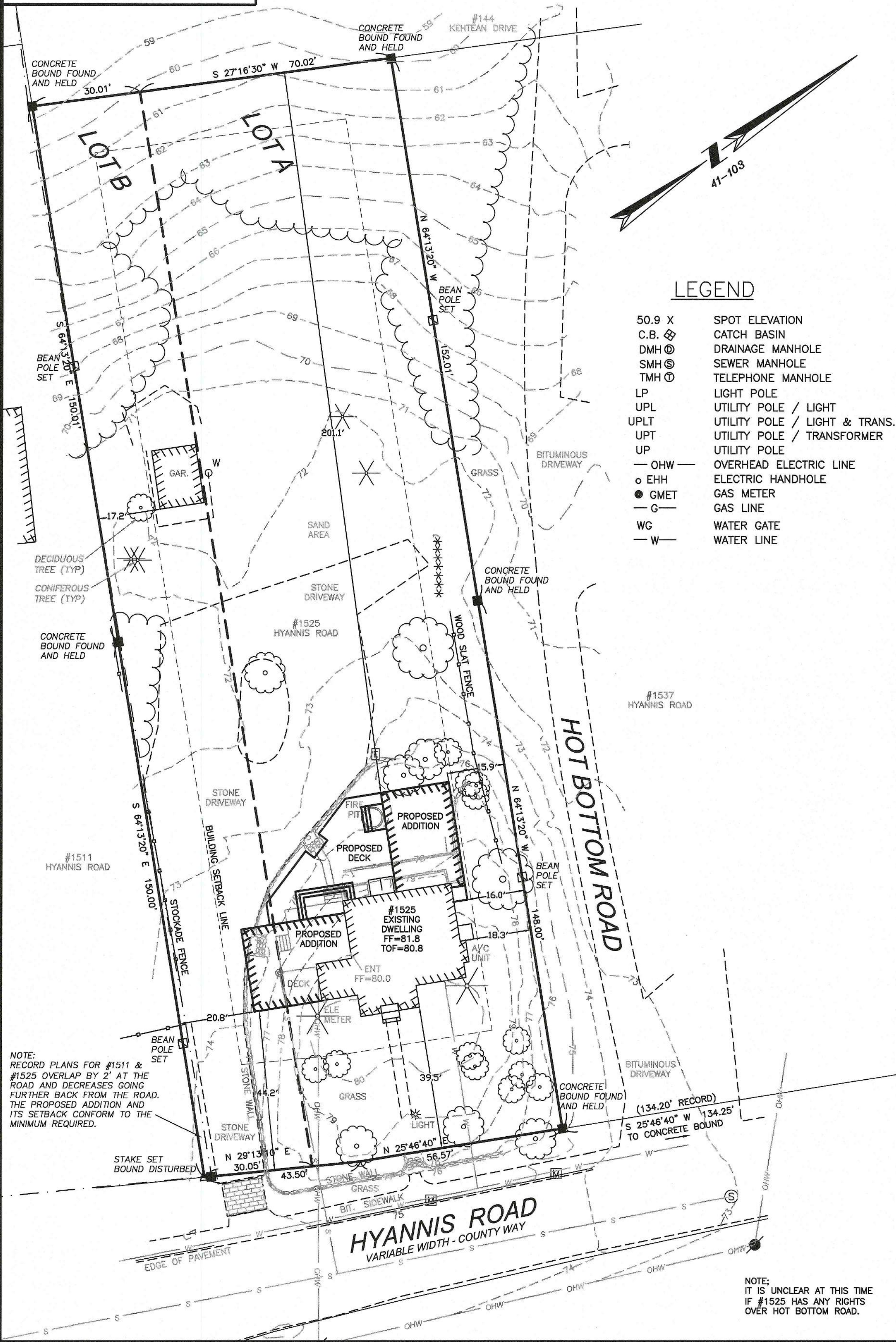
REVISIONS:

NO.	DATE	DESC.

I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.



Kieran J. Healy 10/30/2020
 KIERAN J. HEALY, PLS DATE
 FOR THE BSC GROUP, INC.



LEGEND

- | | |
|---------|-------------------------------|
| 50.9 X | SPOT ELEVATION |
| C.B. ◻ | CATCH BASIN |
| DMH ⊙ | DRAINAGE MANHOLE |
| SMH ⊙ | SEWER MANHOLE |
| TMH ⊙ | TELEPHONE MANHOLE |
| LP | LIGHT POLE |
| UPL | UTILITY POLE / LIGHT |
| UPLT | UTILITY POLE / LIGHT & TRANS. |
| UPT | UTILITY POLE / TRANSFORMER |
| UP | UTILITY POLE |
| — OHW — | OVERHEAD ELECTRIC LINE |
| ○ EHH | ELECTRIC HANDHOLE |
| ● GMET | GAS METER |
| — G — | GAS LINE |
| WG | WATER GATE |
| — W — | WATER LINE |

CERTIFIED PLOT PLAN
 WITH
PROPOSED ADDITION
 AT
#1525 HYANNIS ROAD
 IN
BARNSTABLE MASSACHUSETTS
 (BARNSTABLE COUNTY)

DECEMBER 30, 2020

PREPARED FOR:
 CRAIG BISHOP
 P.O. BOX 159
 BARNSTABLE, MA 02630
 774-325-6650
 craig@high-efficiency.com

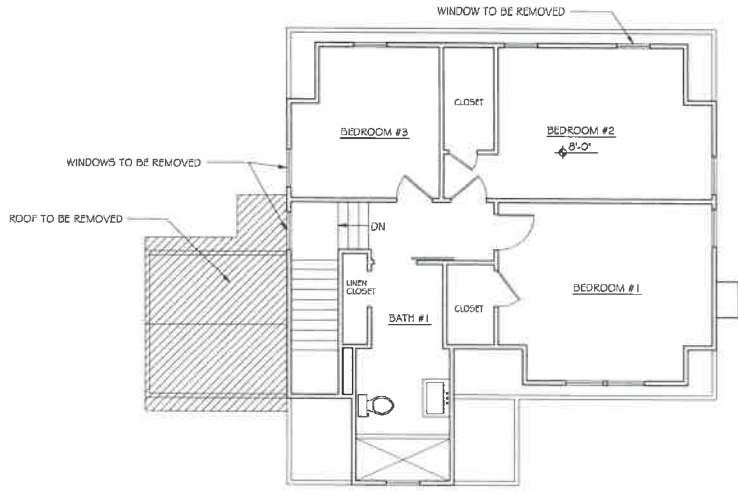
BSC GROUP
 349 Route 28, Unit D
 West Yarmouth, Massachusetts
 02673
 508 778 8919

© 2020 The BSC Group, Inc.
 SCALE: 1" = 20'
 0 2.5 5 10 METERS
 0 10 20 40 FEET

PROJ. MGR.:	CRAIG FIELD
FIELD:	C. O'LEARY
CALC./DESIGN:	K. HEALY
DRAWN:	K. HEALY
CHECK:	CRAIG FIELD
FILE:	50408-CPP.DWG
DWG. NO.:	6653-02
JOB. NO.:	5-0408.00
SHEET 1 OF 1	

NOTE: RECORD PLANS FOR #1511 & #1525 OVERLAP BY 2' AT THE ROAD AND DECREASES GOING FURTHER BACK FROM THE ROAD. THE PROPOSED ADDITION AND ITS SETBACK CONFORM TO THE MINIMUM REQUIRED.

NOTE: IT IS UNCLEAR AT THIS TIME IF #1525 HAS ANY RIGHTS OVER HOT BOTTOM ROAD.

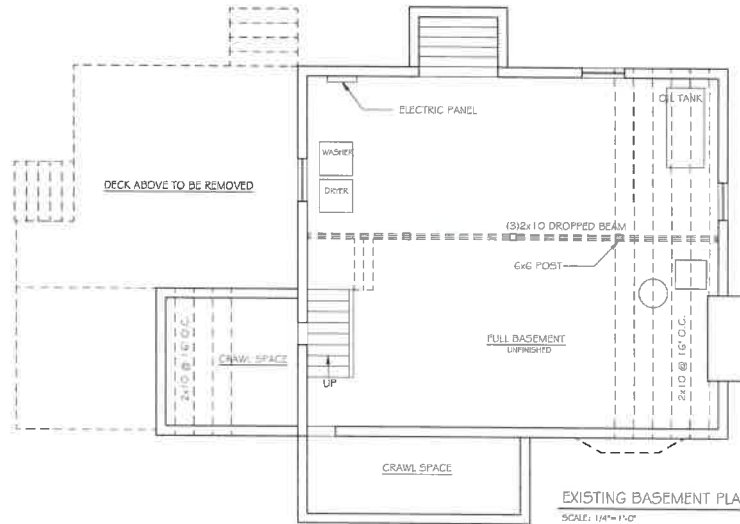


EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

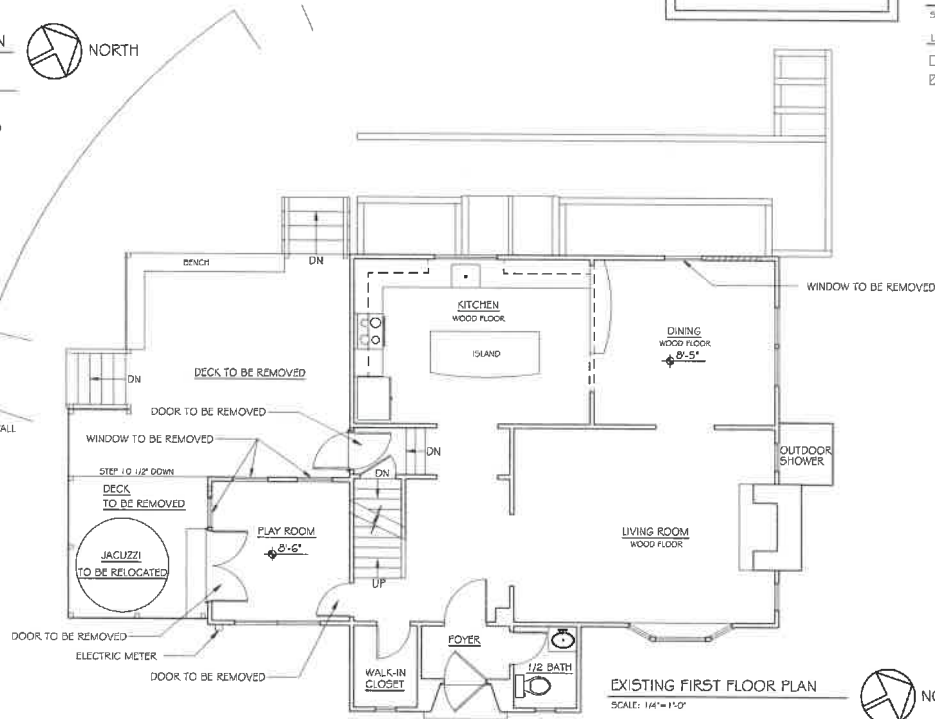


EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

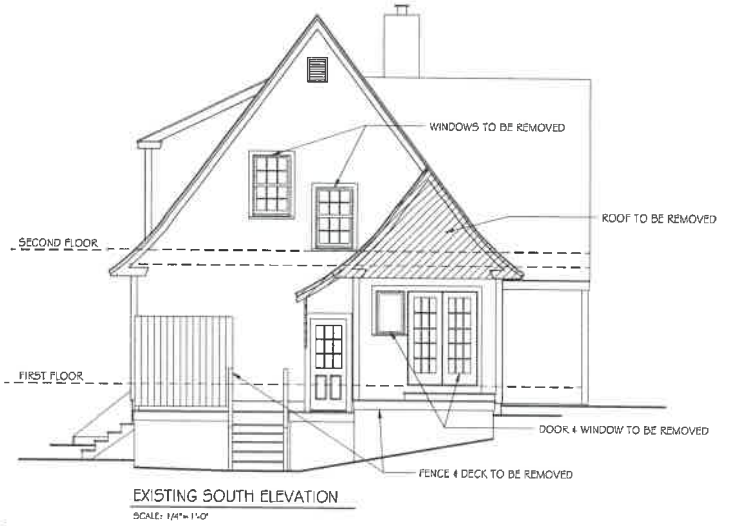
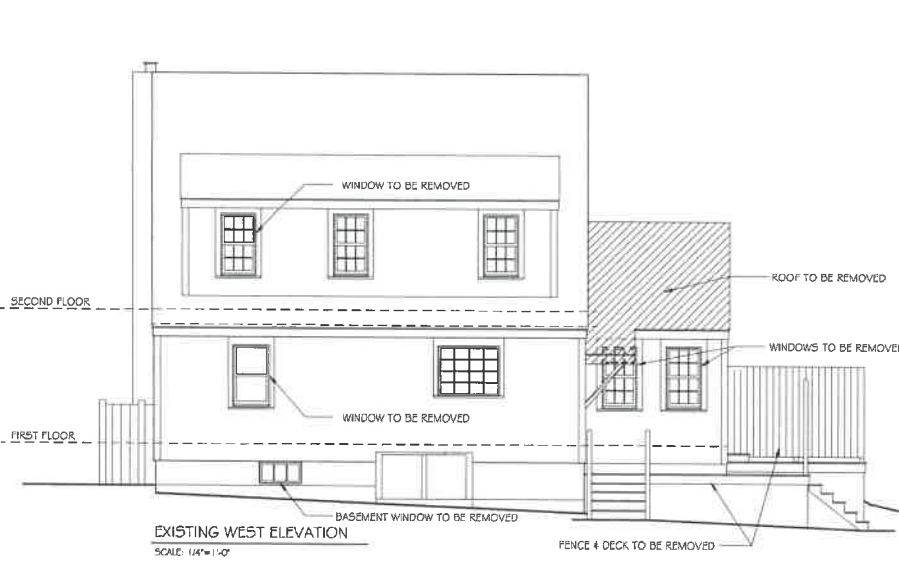
LEGEND

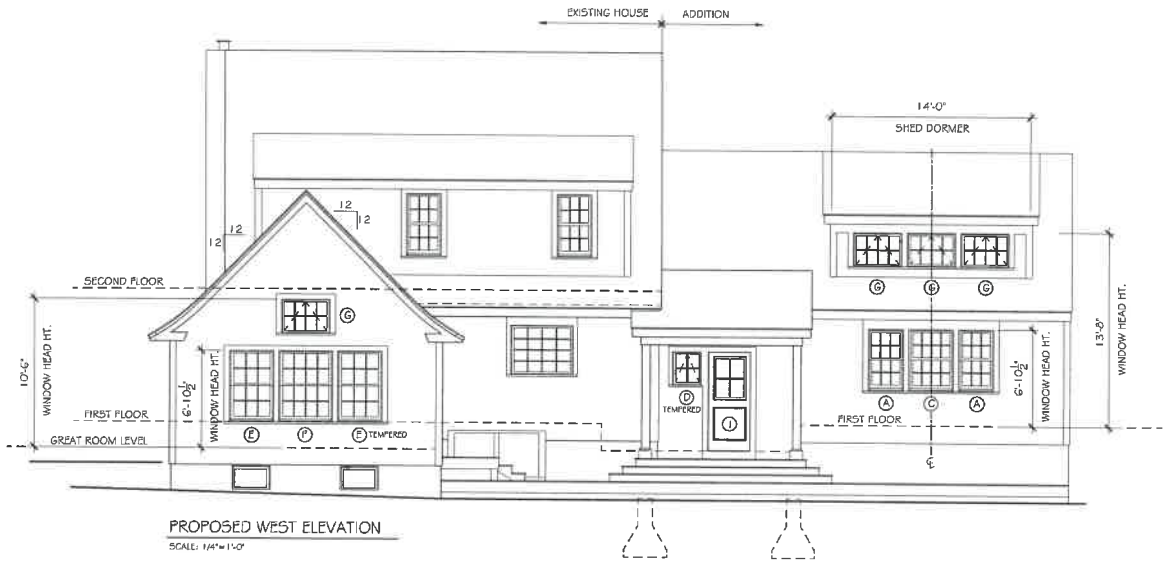
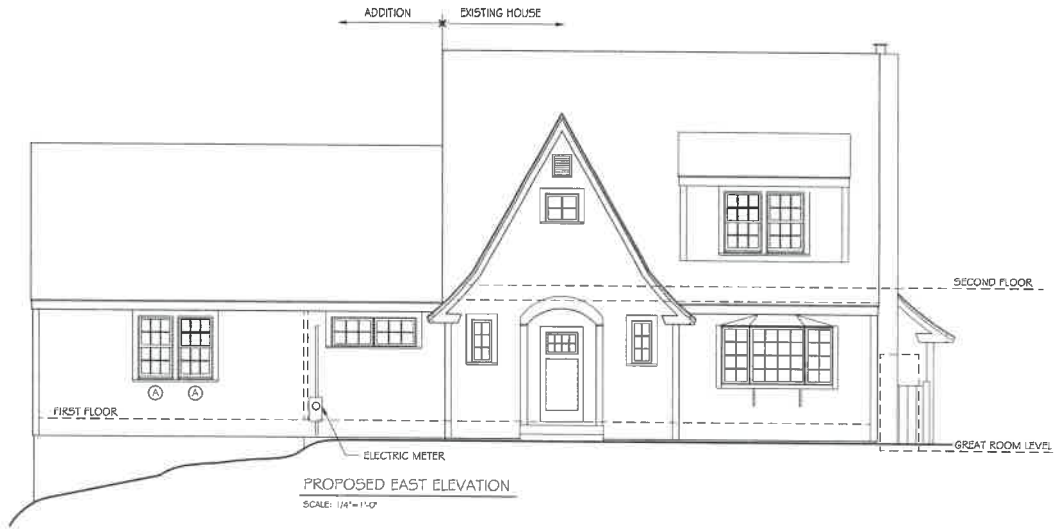
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



RECEIVED
NOV 09 2020

PLANNING & DEVELOPMENT





LA CASA Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508) 308 8614

Date: 06.11.2020

Proposed East & West Elevations
 Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-4

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 NOV 03 2020
 PLANNING & DEVELOPMENT

WINDOW SCHEDULE

ID	MANUF.	UNIT	TYPE	ROUGH OPENING W x H
A	ANDERSEN 400 SERIES	TW2442	TILT-WASH DOUBLE-HUNG	2'-6 1/8" x 4'-4 7/8"
B	ANDERSEN 400 SERIES	A31	AWNING	3'-0 1/2" x 2'-0 5/8"
C	ANDERSEN 400 SERIES	TW3042	TILT-WASH DOUBLE-HUNG	3'-2 1/8" x 4'-4 7/8"
D	ANDERSEN 400 SERIES	AW21 TEMPERED	AWNING	2'-0 5/8" x 2'-4 7/8"
E	ANDERSEN 400 SERIES	TW30410	TILT-WASH DOUBLE-HUNG	3'-2 1/8" x 5'-0 7/8"
F	ANDERSEN 400 SERIES	TW30410	TILT-WASH DOUBLE-HUNG	3'-10 1/8" x 5'-0 7/8"
G	ANDERSEN 400 SERIES	AW351	AWNING	3'-5 3/8" x 2'-4 7/8"

NOTES: BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH AMENDMENTS.
CLIMATE SCHE: SA
PENETRATION REQUIREMENTS: WINDOW U-FACTOR ≤ 0.30
WINDOW SHGC: NO REQUIREMENT

GLASS OPTION: HIGH-PERFORMANCE LOW-E4 WITH ARGON
GRILLES: FINELIGHT BETWEEN THE GLASS
WINDOW FINISH (INTERIOR): WHITE, JAMB LINERS: WHITE
WINDOW FINISH (EXTERIOR): WHITE
AWNING HARDWARE: TRADITIONAL FOLDING: WHITE
DOUBLE-HUNG TILT-WASH 400 SERIES HARDWARE: STANDARD: WHITE
FULL CONVENTIONAL INSECT SCREENS FOR ALL OPERABLE UNITS

ANDERSEN ROUGH OPENING DIMENSIONS ARE THE MINIMUM AMOUNT OF SPACE NEEDED BETWEEN THE WINDOW OR PATIO DOOR AND THE BUILDING STRUCTURE. LEAVE AT LEAST 1/4" SPACE AROUND THE WINDOW FOR FOAM INSULATION.
FOR GRILLE PATTERNS AND VENTING CONFIGURATIONS SEE ELEVATIONS.

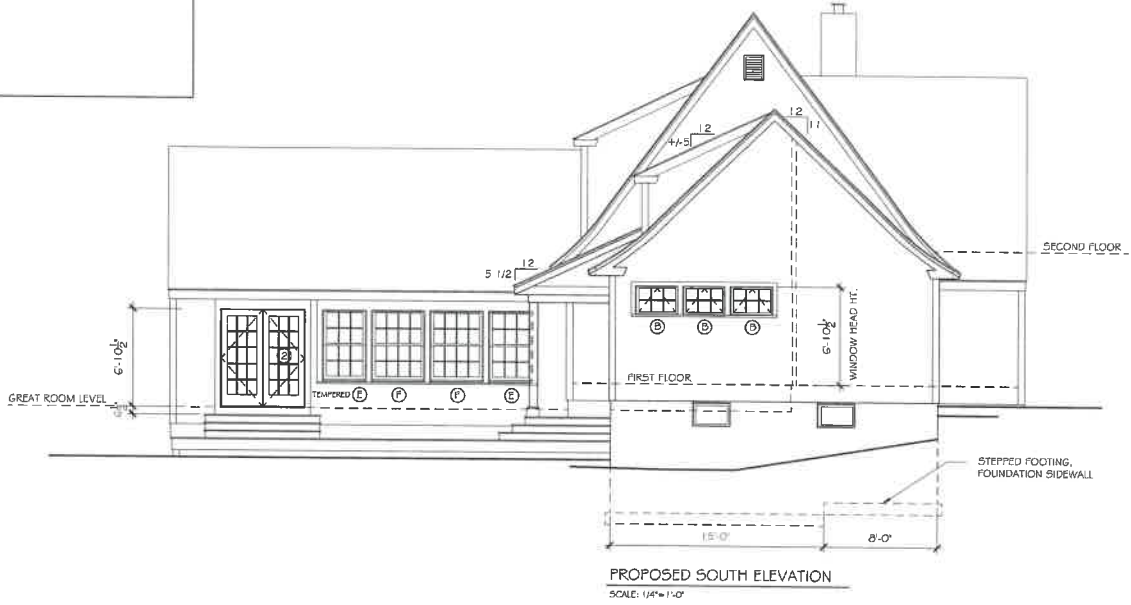
EXTERIOR DOOR SCHEDULE

ID	MANUF.	UNIT	TYPE	UNIT SIZE W x H	ROUGH OPENING W x H
1			FIBERGLASS EXTERIOR DOOR 4-LIGHT 1-PANEL INSWING	3'-0" x 7'-0"	3'-2 1/2" x 7'-2 1/2"
2	ANDERSEN 400 SERIES	FW160611	FRENCHWOOD HINGED PATIO DOOR	5'-11 1/4" x 6'-10 3/8"	6'-0" x 6'-11"
3			FIBERGLASS EXTERIOR DOOR 9-LIGHT 1-PANEL INSWING	2'-6" x 6'-0"	2'-8 1/2" x 6'-10 1/2"

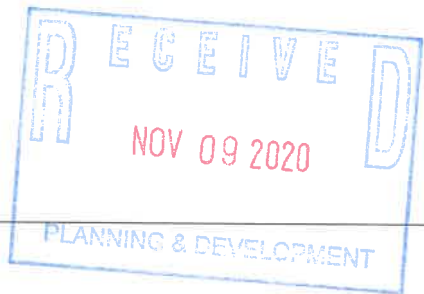
NOTES: GRILLE PATTERN: SEE ELEVATIONS
ANDERSEN 400 SERIES FRENCHWOOD HINGED PATIO DOOR
GLASS OPTION: LOW-E4 TEMPERED
GRILLES: FINELIGHT (GRILLES BETWEEN THE GLASS)
PATIO DOOR FINISH (INTERIOR): WHITE
PATIO DOOR FINISH (EXTERIOR): WHITE
HARDWARE FINISH: TRIBECCA, WHITE
LOCKING SYSTEM: FOOT LOCK
HINGED INSECT SCREEN

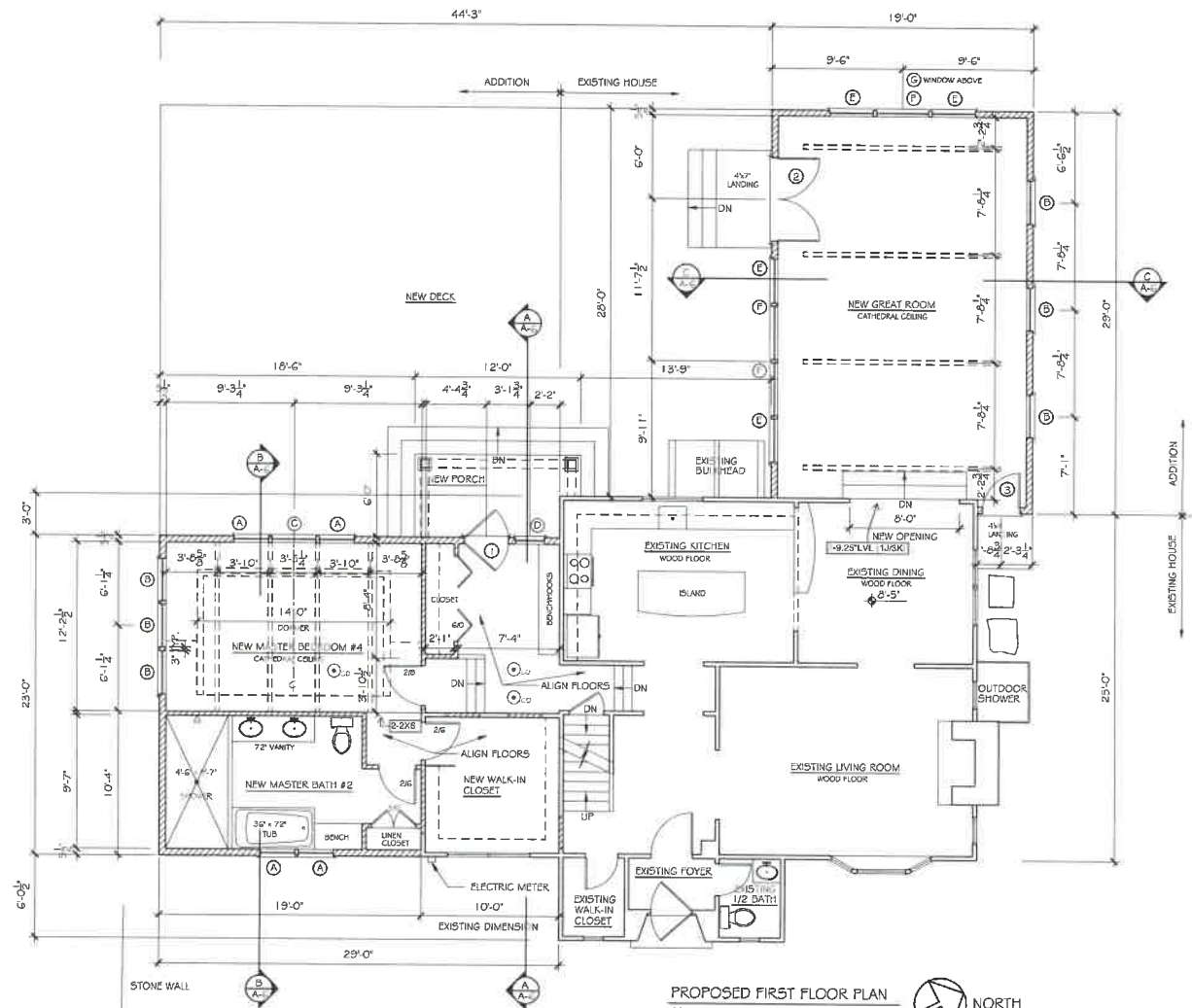


PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"





PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- LEGEND
- EXISTING WALL TO REMAIN
 - NEW WALL

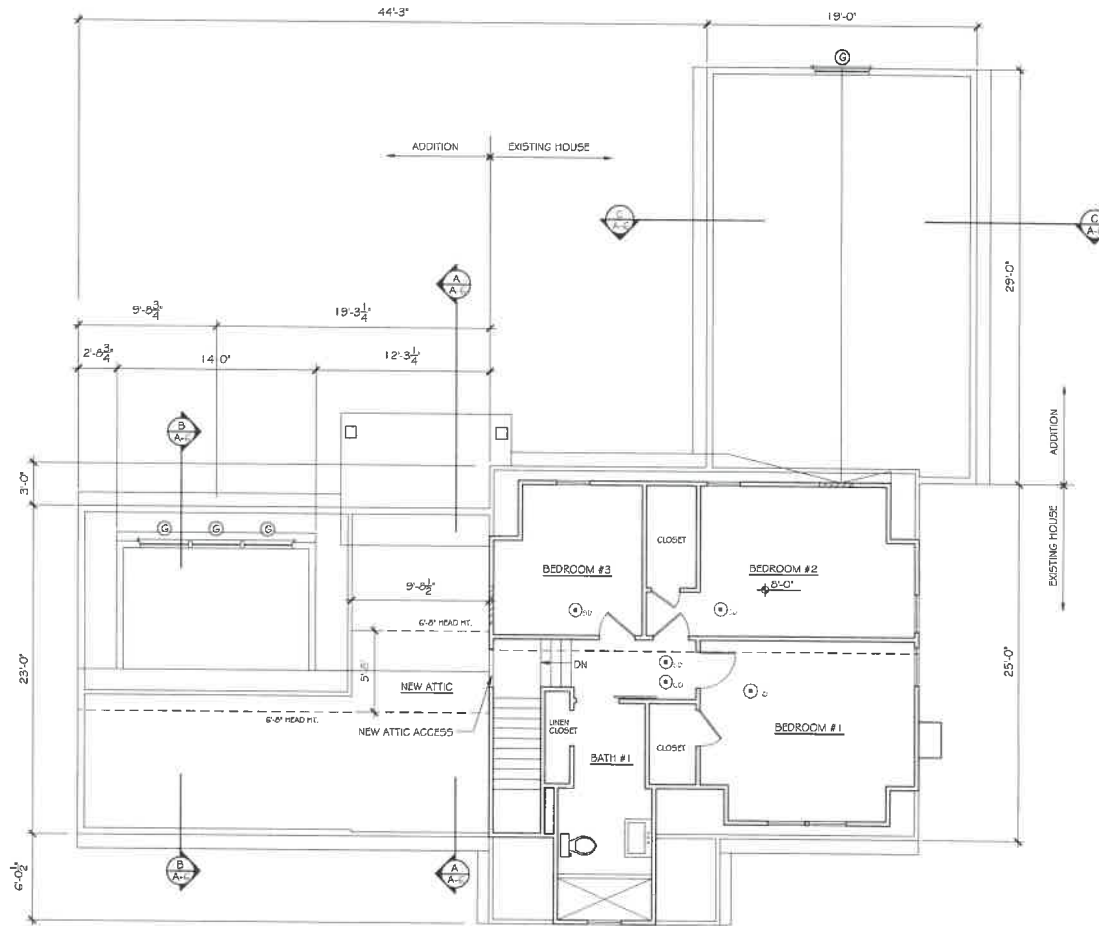
- ALARM LEGEND
- SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - HEAT DETECTOR



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NOV 09 2020

PLANNING & DEVELOPMENT



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



ALARM LEGEND	
	— SMOKE DETECTOR
	— CARBON MONOXIDE DETECTOR
	— HEAT DETECTOR

RECEIVED

NOV 09 2020

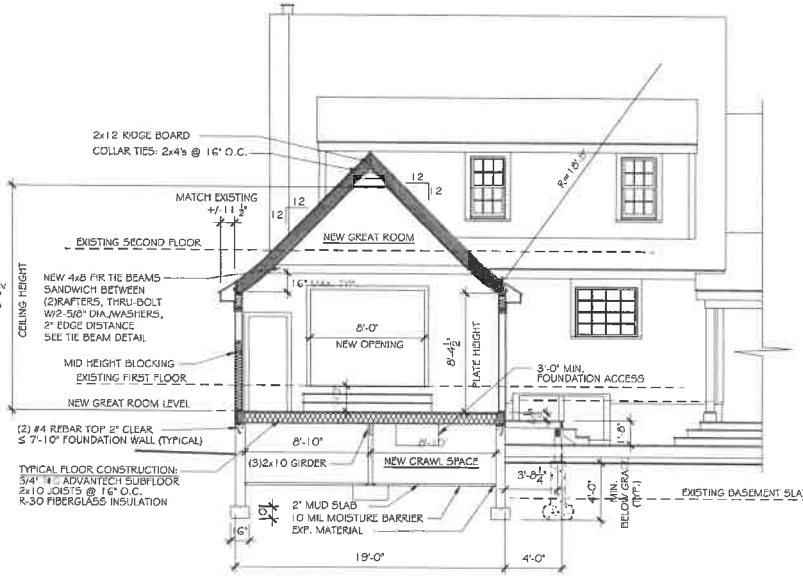
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LA CASA Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508) 308 0614

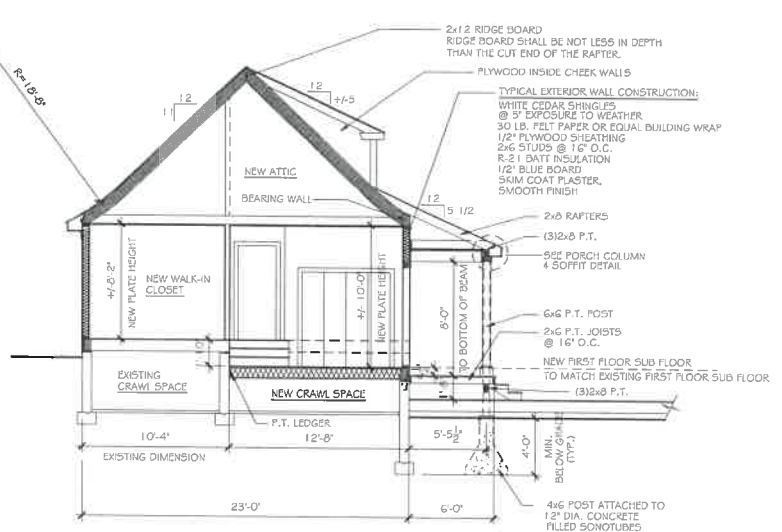
Date: 08.11.2020

Proposed Second Floor Plan
Bishop Residence
1525 Hyannis Rd., Barnstable, MA 02630

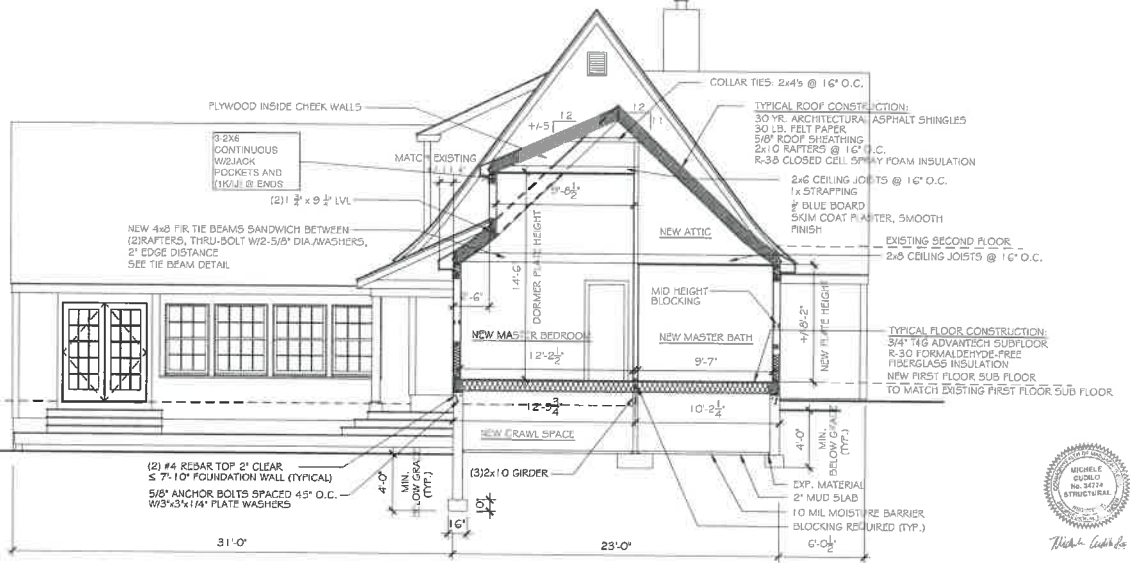
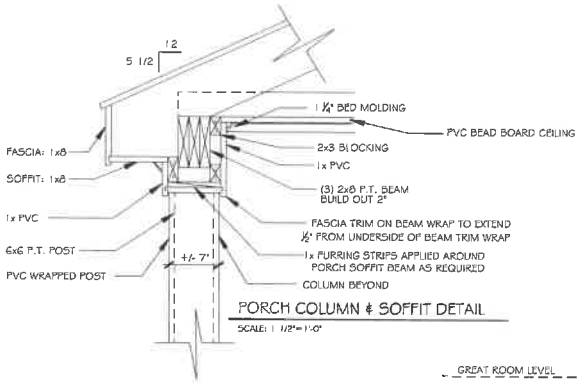
A-3



CC CROSS SECTION @ GREAT ROOM
 SCALE: 1/4"=1'-0"
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS
 BALLOON FRAME GABLE WALLS



AA CROSS SECTION @ ADDITION
 SCALE: 1/4"=1'-0"
 NEW INTERIOR WALLS: 2x4 STUD
 NEW EXTERIOR WALLS: 2x6 STUD
 PROVIDE ATTIC ACCESS OPENING TO ATTIC AREAS
 NOT LESS THAN 2'X3'0" SHALL BE LOCATED
 IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS



BE CROSS SECTION @ MASTER BEDROOM
 SCALE: 1/4"=1'-0"
 MID-HT. BLOCKING REQUIRED >8'-0" STUDS

R
E
C
I
V
E

NOV 09 2020

PLANNING & DEVELOPMENT



8/2020 STRUCT. ONLY

LA CASA Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508) 308 8614

Date: 06.11.2020

Proposed North & South Elevations
 Bishop Residence
 1525 Hyannis Rd., Barnstable, MA 02630

A-6



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/1/20

NOTE: All applications must be signed by the current owner

Owner (print): Ashley & Nick Tavona Telephone #: _____

Address of Proposed Work: Installation of Inground Pool Village Cummaquid Map Lot # 334050

Mailing Address (if different) 17 Iris Lane

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: We are to install a 16' x 32' x 8' deep inground swimming pool with a 6' Stockade fence along front of prop and a black aluminum 5' fence, w/ self closing and self latching gate.

Agent or Contractor (print): Swimming Pool and Spa Design Telephone #: 508-775-2433

Address: 87 Enterprise Rd. Hyannis, MA 02601 Email: swimmingpoolandspadesign@g

Contractor/Agent' signature: Steven Sama

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>_____</p>
--	---

5. SIGNS

- Diagram of sign, showing graphics, size, design and height of post, color and materials.
- Spec sheet.
- Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- Drawing of location of panels on house showing roof and panel dimensions.
- Site plan showing location of building on property. (Assessors map may be submitted)
- Height of solar panel above the roof.
- Color of panels
- Finish (matt or glossy)

7. FEES

- Filing fee** according to schedule, made payable to the Town of Barnstable
- Legal ad fee \$19.84** check made payable to the Town of Barnstable for the required legal ad notification
Note the filing fee and legal ad fees need to be on separate checks. We apologize in advance for any inconvenience this may cause.
- First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Steven Serna Print Steven Serna

Date: 12/1/20 Tel. Phone no's: 508-775-2433
 Email swimmingpoolandspacdesign@gmail.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP
---------------	----------------	--------------

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is file with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Planning & Development Department, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14 day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

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BUILDING PERMITS, OTHER AGENCY CONTACTS

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QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 12/4/2020



Approx. Scale: 1 inch = 333 feet



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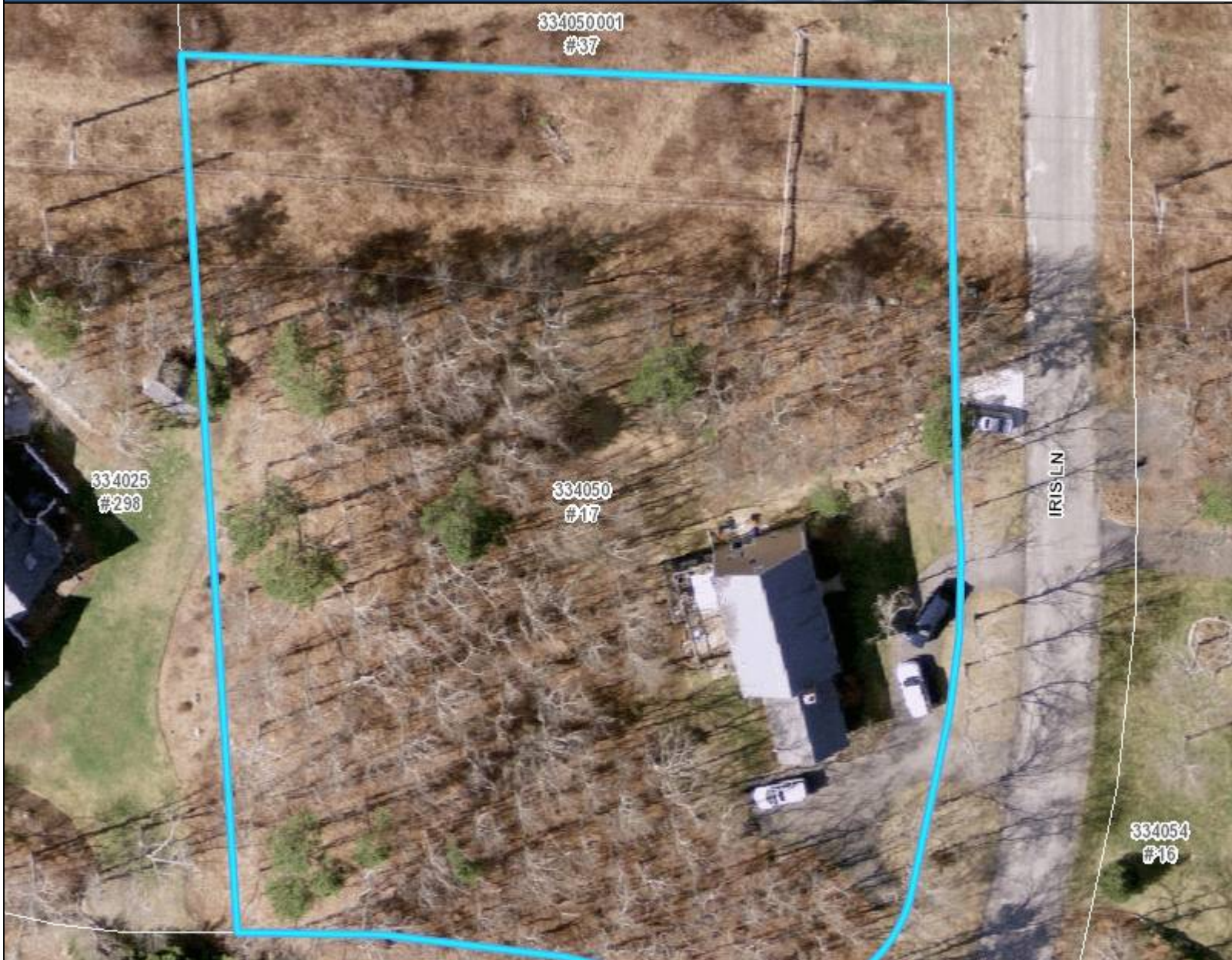
508-862-4624

gis@town.barnstable.ma.us

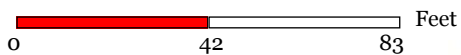


Legend

Road Names



Map printed on: 12/4/2020



Approx. Scale: 1 inch = 42 feet



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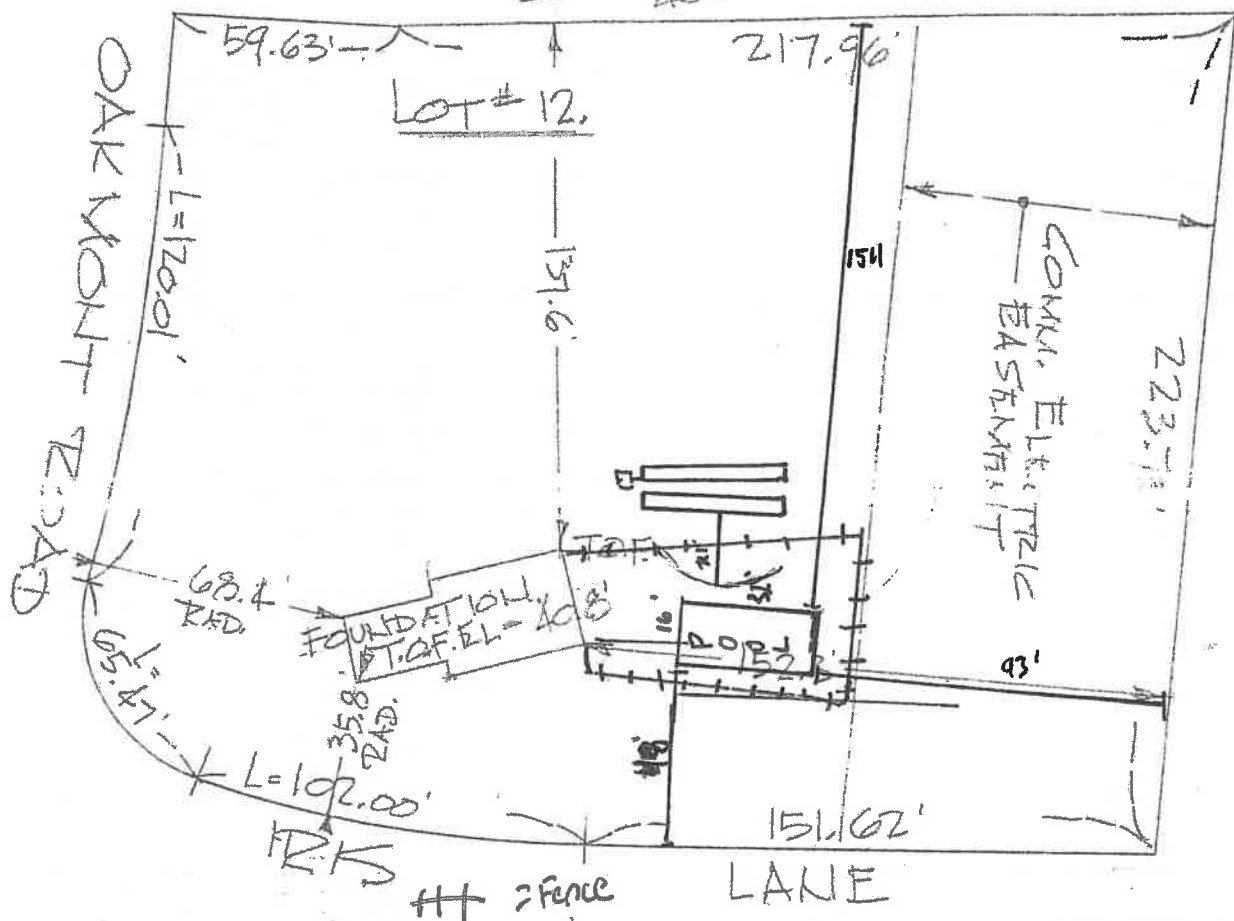


Town of Barnstable GIS Unit

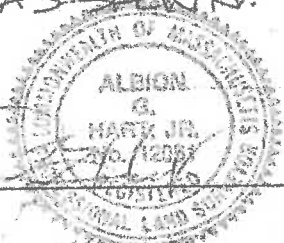
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



I HEREBY CERTIFY THAT THE FOUNDATION, DEPICTED HEREON, IS SITUATED ON THE GROUND AS SHOWN.



11/23/99

SIGNED AND SEALED IN TRUST #12051

AS-BUILT FOUNDATION PLOT PLAN ON LOT #12 PLAN BOOK 400 PG. 82 ASS'RS, MAP 334 PARCEL 50 17 TRIS LANE CUMMAQUID BARNSTABLE MA.

PREPARED FOR:

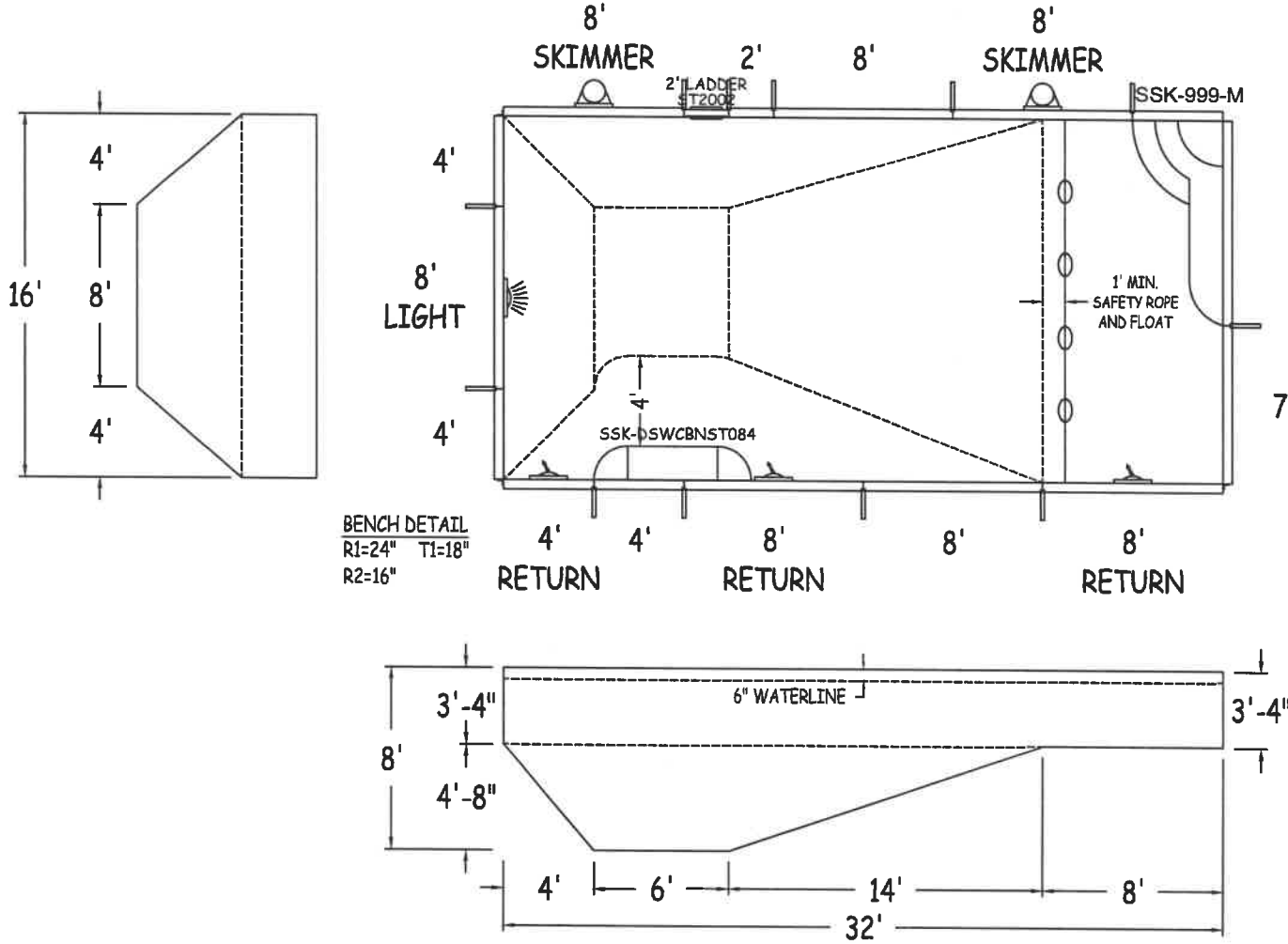
CASEY HOMES, INC.

SCALE 1"=50'

NOV. 23, 1999

B098-2155

IN ACCORDANCE WITH ANSI/APSP/ICC-5 2011, THE INSTALLER IS RESPONSIBLE FOR PLACING ONE SKIMMER FOR EVERY 800 SQUARE FEET OF SURFACE AREA AND ONE RETURN FOR EVERY 300 SQUARE FEET OF SURFACE AREA.



LATHAM STEEL

RECTANGLE 90DEG 16-0 x 32-0

42" STEEL PANELS
DWG#: 2020-SPL-75012
KIT#: CUSTOMKIT

PERIMETER:	96'-0"	VOLUME (US Gal):	16800
SURFACE (ft²):	512	VOLUME (Liters):	63600
LINER (ft²):	512	DATE: 10/22/2020	DSR:
COVER (ft²):	612	SCALE: 1/8" = 1'-0"	



DIVING/SLIDING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLIDING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLIDING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS.

CUSTOMER: BAYSTATE - CAMBRIDGE MA
JOB NAME: SWIM POOL SPA DESIGN/KATORI

ALL ASPECTS OF THIS DRAWING COMPLIES WITH ANSI/APSP/ICC-5 2011 AND 2015 ISPS

RECTANGLE







Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other - greenhouse
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date Dec 1, 2020

NOTE: All applications must be signed by the current owner

Owner (print): Lisa S. Hynes Telephone #: 413 237 8637

Address of Proposed Work: 26 Carlson Lane Village W. Barnstable Lot # 133-0102

Mailing Address (if different) same

Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done: construction of an 8x8 greenhouse behind house

Agent or Contractor (print): none Telephone #: _____

Address: _____ Email: _____

Contractor/Agent's signature: _____

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) gravel

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other polycarbonate Color: clear

Chimney Material: _____ Color: _____

Roof Material: (make & style) polycarbonate Color: clear

Roof Pitch(s): (7/12 minimum) 9/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify aluminum frame

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: n/a Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

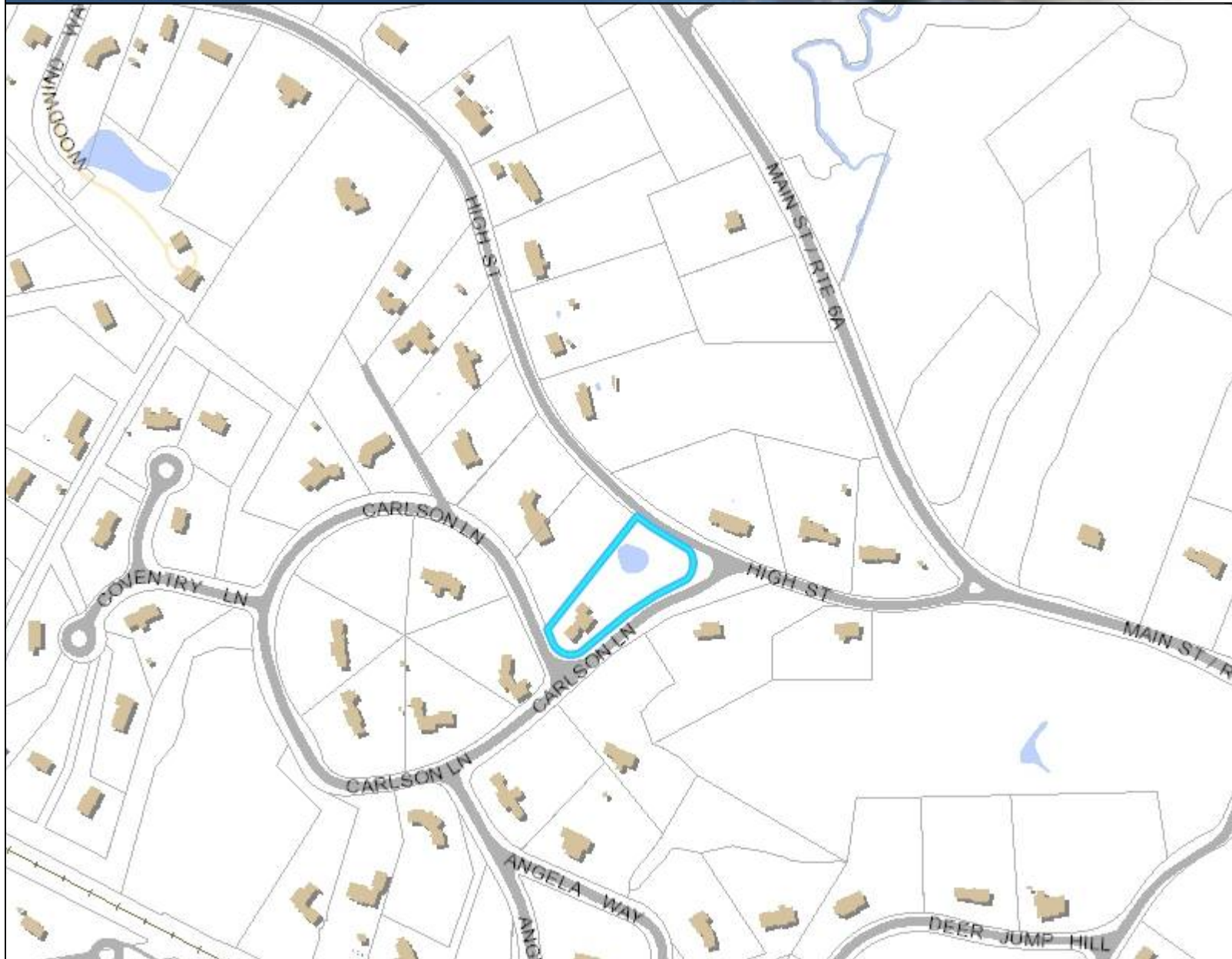
Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

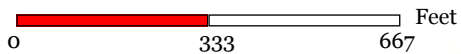
Signed: (plan preparer) [Signature] Print Name Lisa S. Hynes



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies

Map printed on: 12/17/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/17/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

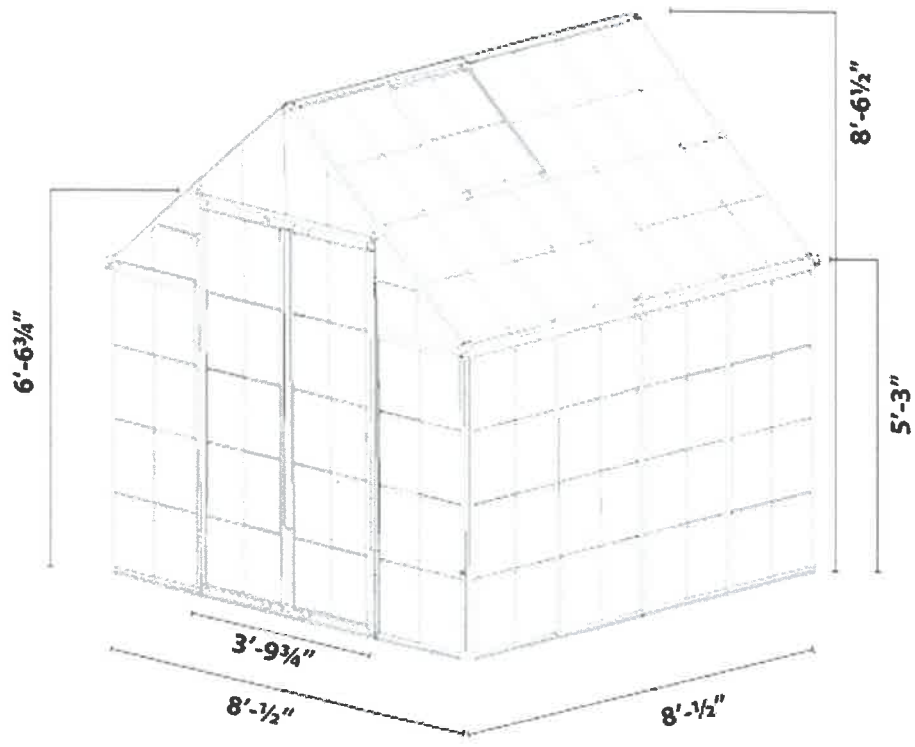
367 Main Street, Hyannis, MA 02601

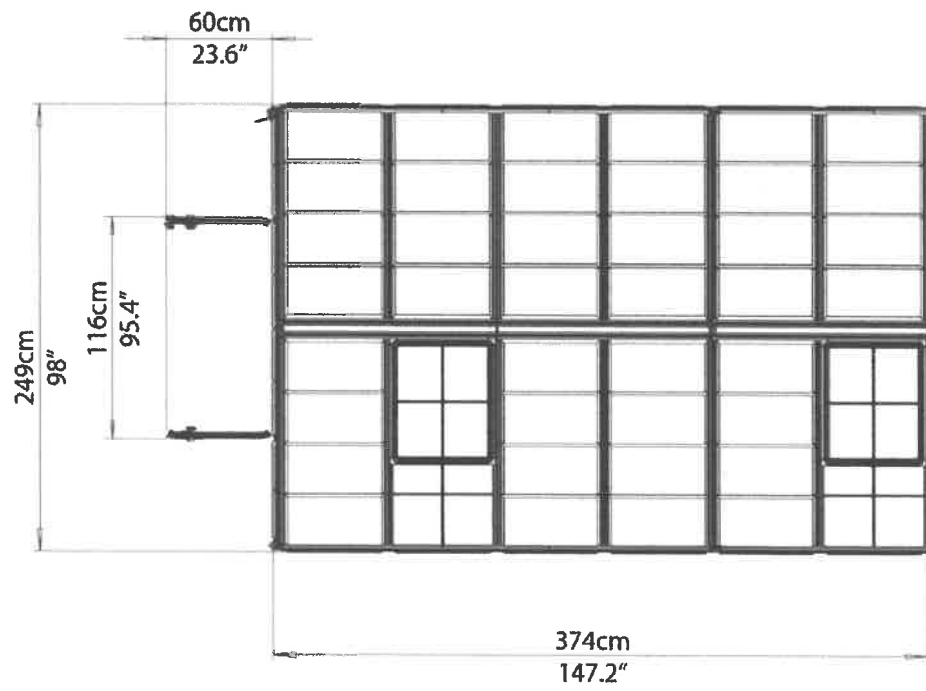
508-862-4624

gis@town.barnstable.ma.us



Width	8'-1/2"	Height at apex	8'-6 1/2"
Length	8'-1/2"	Glazing	clear, single-layer SnpGlas™ polycarbonate panels
Sidewall height	6'-3"	Frame	aluminum with rigid polypropylene SmartLock™ connectors
Frame spacing	2'	Ventilation	(1) adjustable roof vent









Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 133062

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
133028001	OCONNOR, RICHARD K & JUDITH C		8 WILLARD LANE		LYNNFIELD	MA	01940
133030	LEDOUX, KENNETH F & ANITA L TRS	LEDOUX REALTY TRUST	11 CARLSON LANE		WEST BARNSTABLE	MA	02668
133061	HEGARTY, DONNA A		P O BOX 651		WEST BARNSTABLE	MA	02668
133062	HYNES, CARL & LISA		26 CARLSON LANE		WEST BARNSTABLE	MA	02668
133063	SASSONE, LOUIS P & KARA L		54 CARLSON LANE		WEST BARNSTABLE	MA	02668
133064	DARRAS, BASIL T & SOPHIA GIANNAROS- TRS	CARLSON LEKA REALTY TRUST	79 WALPOLE STREET		DOVER	MA	02030



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/15/20

NOTE: All applications must be signed by the current owner

Owner (print): Edward & Gretchen Hibben Telephone #: 781-267-0829
 Address of Proposed Work: 9 Sheperds Way Village Barnstable Map Lot # 259/001/004
 Mailing Address (if different) PO Box 1054, Barnstable, MA 02630

Owner's Signature Owner's sign-off letter attached

Description of Proposed Work: Give particulars of work to be done: _____

Construct an exterior stair case at rear of house from ground to existing deck

Agent or Contractor (print): OHC Inc., dba The House Company Telephone #: 508 771 0303
 Address: 30 Perseverance Way, Suite 2, Hyannis, MA 02601 Email: info@thehouseco.com

Contractor/Agent' signature: OHC Inc. [Signature]

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Staircase to match existing deck

Deck material: wood other material, specify Mahogany Color: Natural

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

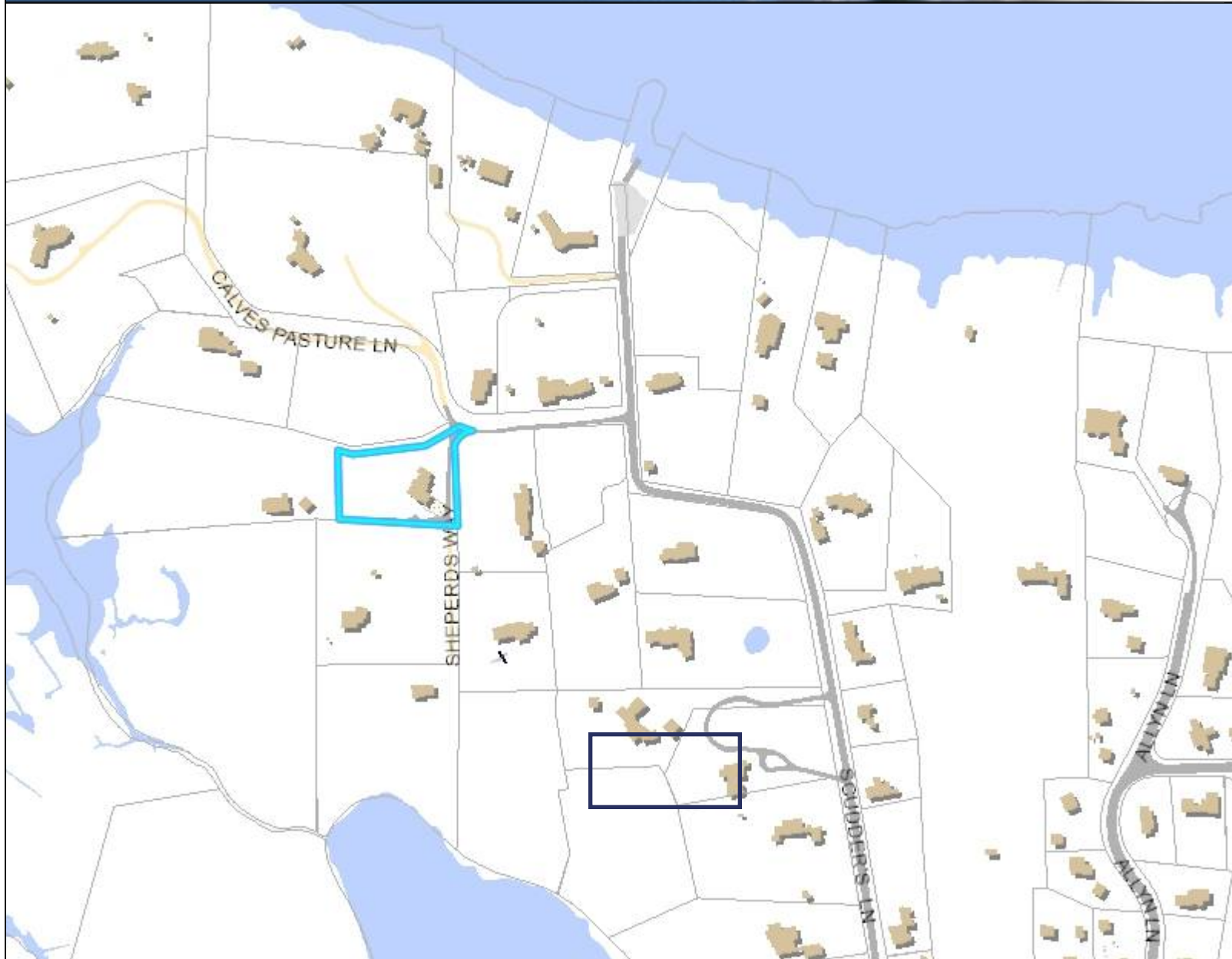
Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

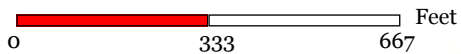
Signed: (plan preparer) OKH INC. [Signature] Print Name Michael S. Rockwell



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies

Map printed on: 12/17/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 12/17/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

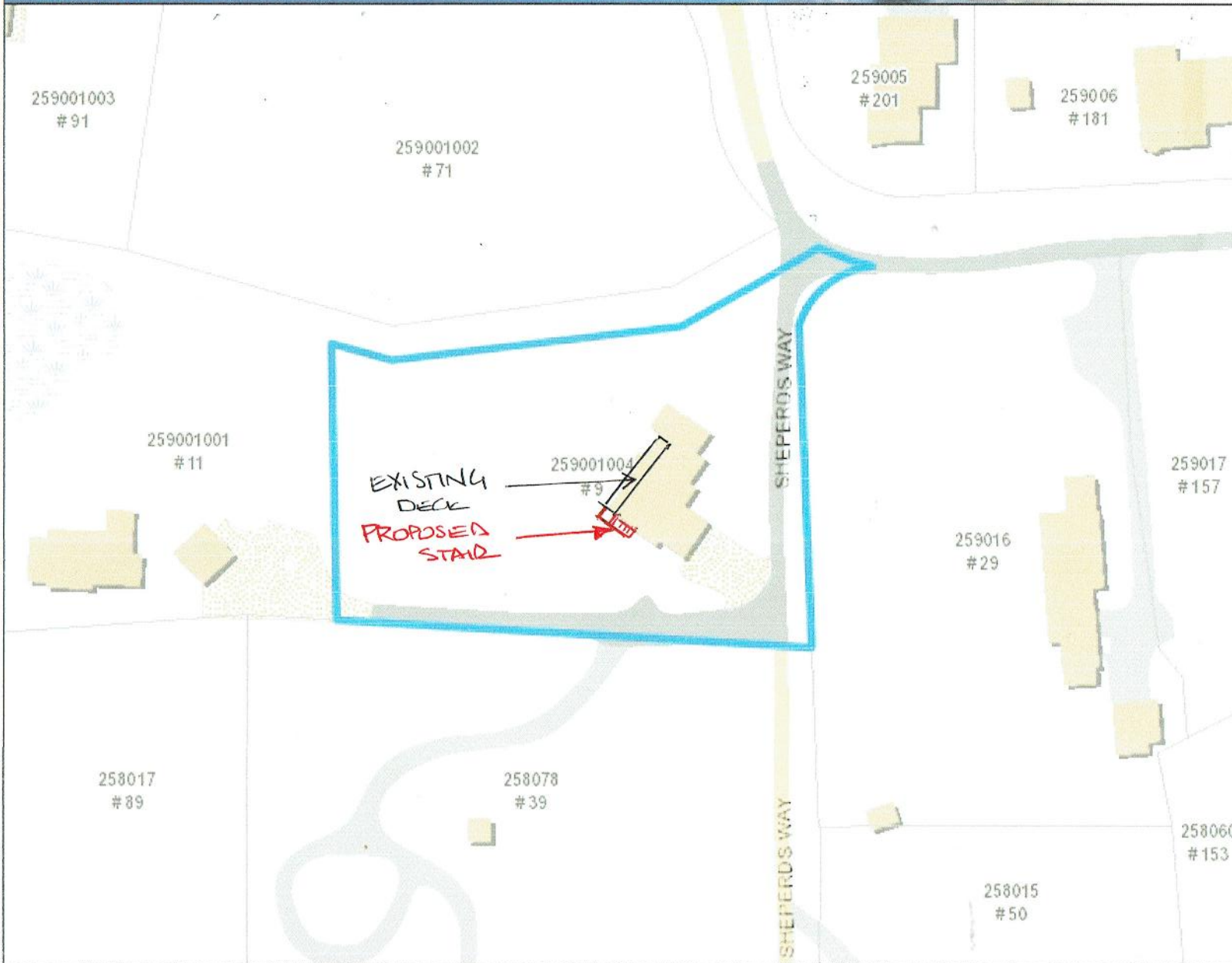
508-862-4624

gis@town.barnstable.ma.us

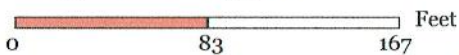


Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies



Map printed on: 12/15/2020



Approx. Scale: 1 inch = 83 feet



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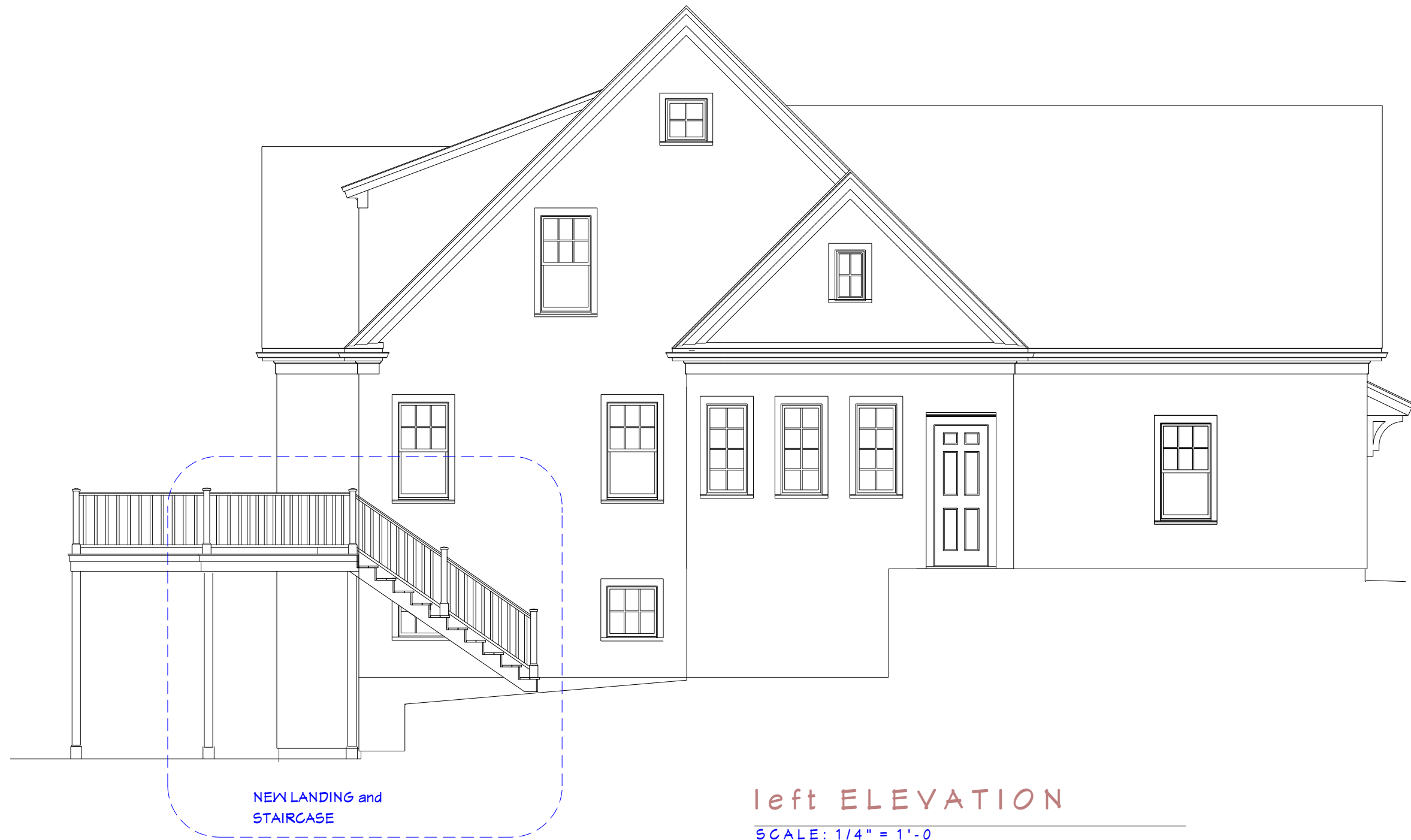


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



left ELEVATION

SCALE: 1/4" = 1'-0

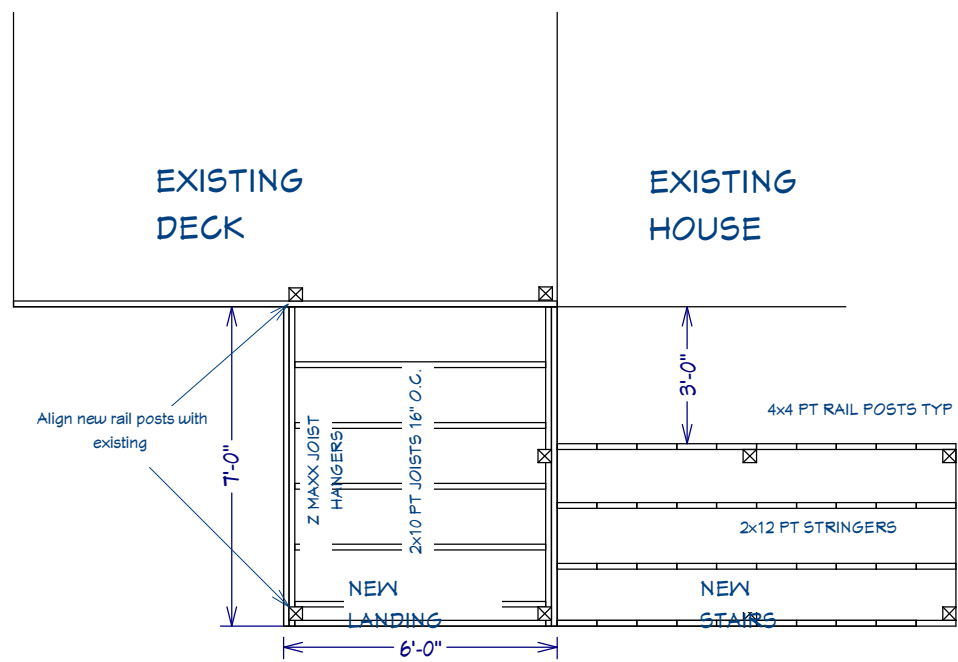


The House Company

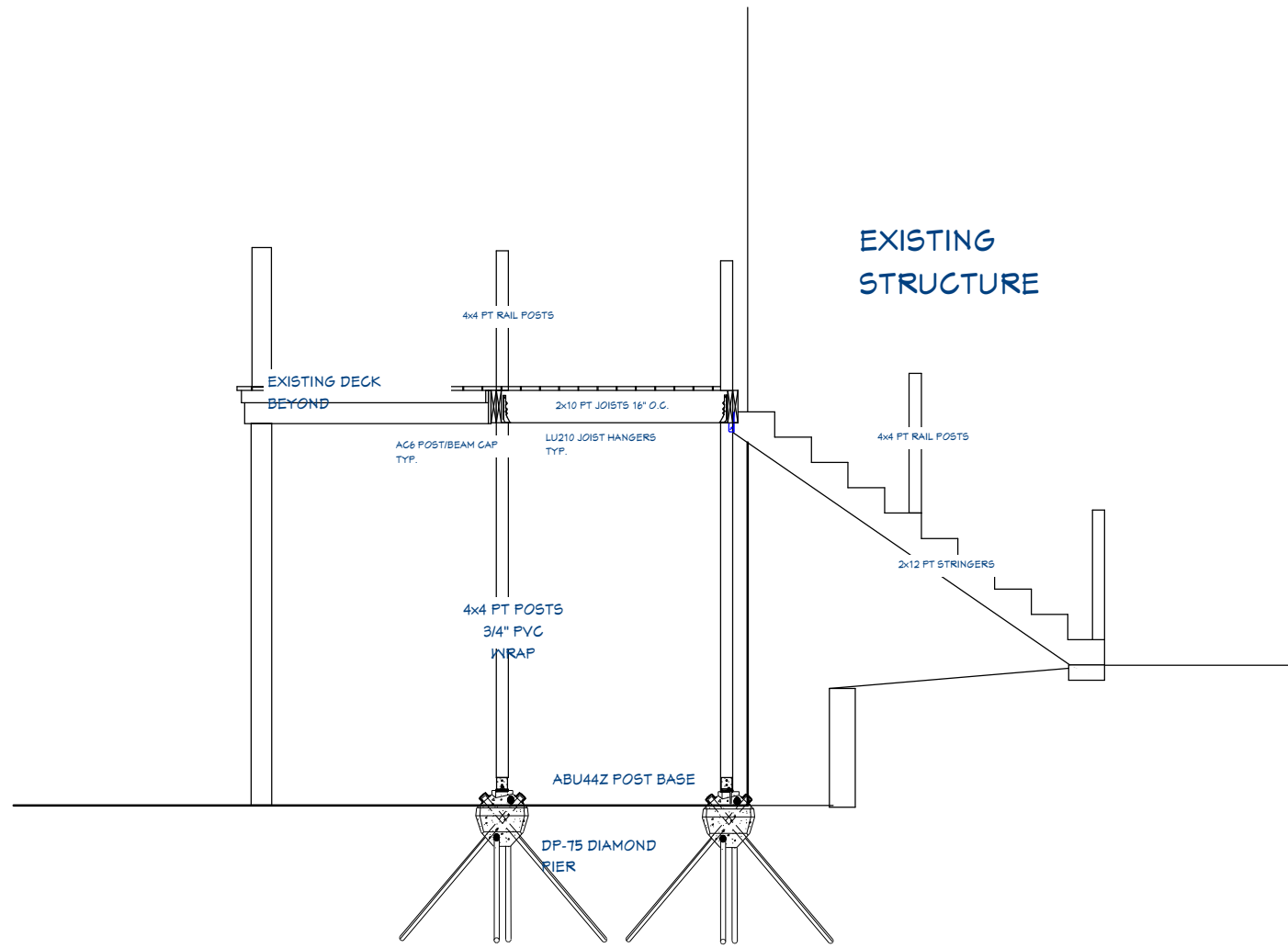
30 Perseverance Way, Ste 2
 Hyannis, MA 02601
 508.771.0303 f508.771.0384
 thehouseco.com info@thehouseco.com

HIBBEN RESIDENCE
 9 SHEPERDS WAY
 BARNSTABLE, MA 02630

A1



DECK PLAN



DECK SECTION



The House Company

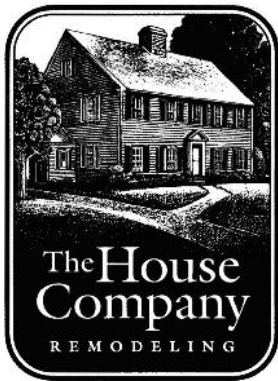
30 Perseverance Way, Ste 2
 Hyannis, MA 02601
 508.771.0303 f508.771.0384
 thehouseco.com info@thehouseco.com

HIBBEN RESIDENCE
 9 SHEPERDS WAY
 BARNSTABLE, MA 02630

A2



Location of proposed staircase



The House Company
30 Perseverance Way, Suite 2
Hyannis, MA 02601
508.771.0303 info@thehouseco.com

PROJECT: Hibben Residence

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 259001004

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
258078	BROWN, ROBERT CLINTON		6900 NW 87TH AVENUE		PARKLAND	FL	33067
259001001	IVES, J ATWOOD & ELIZABETH S		1010 WALTHAM ST #598		LEXINGTON	MA	02421
259001004	GOLDSTEIN, JEFFREY & BEA MARIE TRS	%HIBBEN, EDWARD K & GRETCHEN E	9 SHEPERDS WAY	PO BOX 1054	BARNSTABLE	MA	02630
259005	RAFA, MICHAEL J & HOFT, KRISTEN		13 PARK STREET		RYE	NY	10580
259016	CARVER, DOROTHY E		PO BOX 309		YARMOUTH PORT	MA	02675

Town of Barnstable Regulatory services

Richard Scali, Director

Building Division

Paul Roma, Building Commissioner
200 Main Street, Hyannis, MA 02601
www.town.barnstable.ma.us

Office: 508-862-4038

Fax: 508-790-6230

Property Owner Must Complete and Sign This Section If Using A Builder

We, Ted & Gretchen Hibben, as Owner of the subject property

hereby authorize OHC, Inc dba The House Company to act on our
behalf,

in all matters relative to work authorized by this building permit application for:

9 Sheperds (Shepherds) Way, Barnstable, MA 02630
(Address of Job)



Signature of Owner

Gretchen E Hibben

Print Name

12/8/2020

Date



Signature of Owner

EDWARD K. HIBBEN

Print Name

12/8/2020

Date



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR
DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE
 (including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: Dec. 16, 2020 Address of Proposed work: Assessors Map and lot # 279 012
 House # 2886 Street Main Street Village: Barnstable

Demolition of: house part of house Garage barn stable commercial stone wall other

Description of Proposed Work: There is currently a greenhouse attached to the front, left side of the house. We would like to remove the ~~greenhouse~~ greenhouse structure.

If application is for removal to a different location, state where: _____

Please complete the following information:

Square footage of footprint of building(s) to be demolished: Building 1: 100 → 120 ft² 2: _____
 Square footage of total floor area of building(s) to be demolished: Building 1: _____ 2: _____

Owner:

Owner (please print): Ereni Malfa Tel #: 443 418-3116
 Owner's mailing address: 11248 Falls Road, Lutherville-Timonium, MD 21093
 Signature of Owner: Ereni Malfa
Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted

Contractor:

Agent/Contractor (please print): _____ Tel #: _____
 Address: _____
 Signature of Contractor/Agent: _____

<p>For Committee Use Only</p> <div style="border: 1px solid black; width: 100%; height: 100%;"></div>	This Certificate is hereby APPROVED/DENIED Date: _____ Committee Members Signatures: _____ _____ _____
	Conditions of approval: _____ _____
	_____ _____

FORM B - BUILDING

279/012

BRN 139
MRA-D
3/13/87

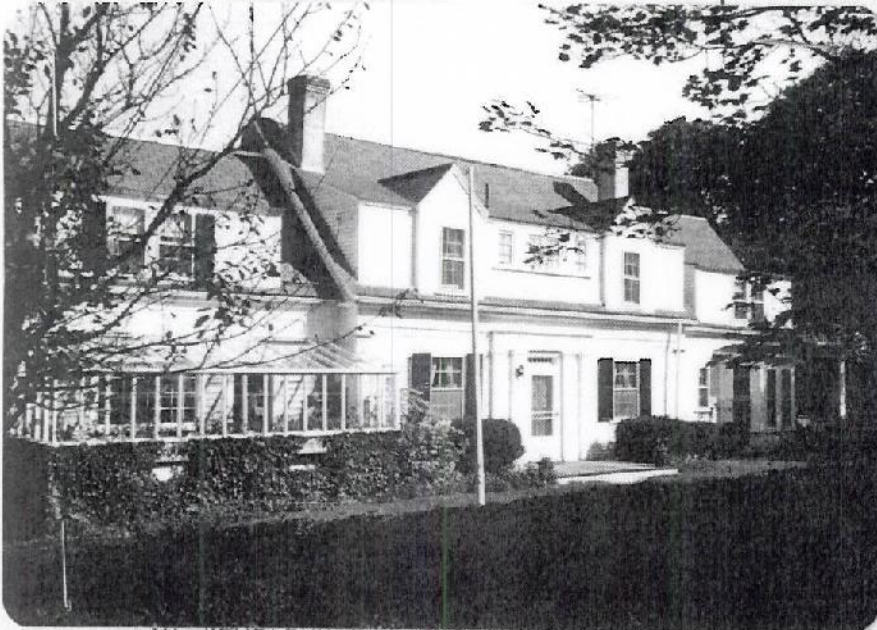
Area BVE MT, NO	Form no. BRN. 139 154 131
-----------------------	---------------------------------

MASSACHUSETTS HISTORICAL COMMISSION
294 Washington Street, Boston, MA 02108

Pt. Barn. Vill
LHD-5/1/73

Town Barnstable (Lothrop Hill)

#2886
Address Main St. (Rte 6A), Barnstable



Historic Name Laurence Mortimer House

Original Homestead

Present Residence

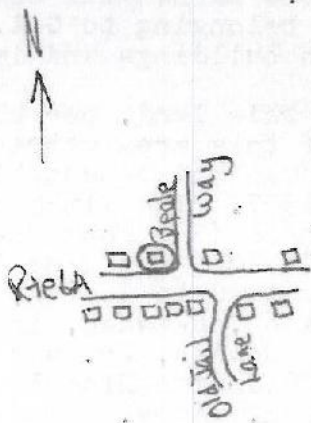
Ownership: Donald Booth
 Private individual
 Private organization

Public

Original owner Josiah Hinckley, Jr.

Construction: C.1849

Indicate north.



Source Registry of Deeds-Barn. Cty. originally

Style Greek Revival

Architect _____

Exterior wall fabric wood clapboard

Outbuildings shed

Major alterations (with dates) _____

Later addition on east side

Modernized

Moved from just east of Date c1907
#2825 Main St. to present location

Approx. acreage .46ac.

Setting Residential-located on north
side of County Rd. (Rte 6A) just
west of Beale Way.

Photo #38-17A-EL54

Recorded by Patricia J. Anderson

Organization Barnstable Historical
Commission

Date Jan., 1982

Contributing Building
National Register

(Staple additional sheets here)

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

The main section of this house was originally Greek Revival in style. Before it was moved, the gable end of the dwelling faced the street as was customary in the Greek Revival building. After moving the house to its present location, it was greatly enlarged and remodeled. Dormers were added as well as a portico with single story columns at the front entrance. A later addition to the east side of the house has a bay window and covered porch.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

The land on which this dwelling now stands may have belonged (C.1644) to Tristram Hull, son of Rev. Joseph Hull. John Lothrop, Thomas Annable, Dr. Abner Hersey, Isaiah Hinckley and Elijah Crocker have subsequently owned this parcel of land. In 1861 Elijah Crocker purchased the homestead of Isaiah Hinckley (See Form #E-151). Gustavus Hinckley purchased the western 12 acres of the Elijah Crocker homestead in 1874. Included with the land were, according to the deed, buildings and improvements.

According to tradition, the outbuildings and barn on this land may have been part of Dr. Abner Hersey's farm. The 1880 Barnstable County Atlas shows this parcel of land, without a house, belonging to G.A. Hinckley. In 1895 G.A. Hinckley sold the land with buildings and improvements to Joseph Beale.

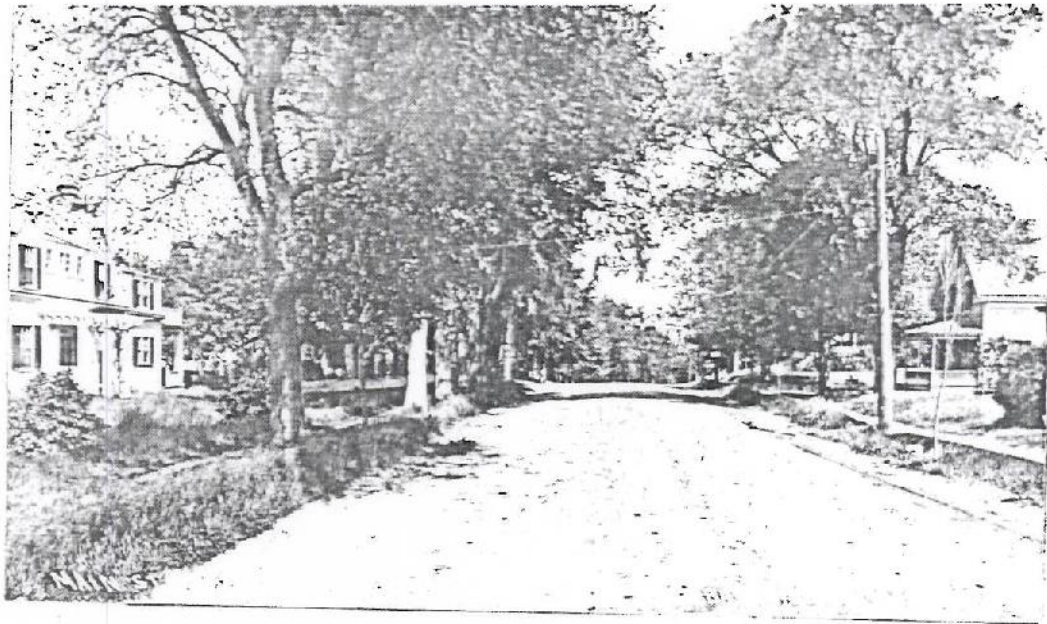
It is not until 1907 that a house appears on this land, per the Barnstable County Atlas for 1907. Oral history of this area attributes this house as belonging to Eliza Tinkham. This house was presumably purchased by Joseph Beale and moved to his lot C.1907. The Tinkham house was located east of the Ebenezer Hinckley House (See Form #E-162) and originally belonged to Josiah Hinckley, Jr. In 1849 Lot Hinckley sold a small piece of his father's (Ebenezer) homestead to Josiah, Jr. This parcel combined with another sold by Lot's widow, Rebecca, in 1861 formed the homestead of Josiah Hinckley, Jr. Josiah, Jr. was born in 1824, married in 1849 and died in 1915. In 1880 Josiah Hinckley, Jr., widower, sold the house and land to Eliza A. Tinkham, widow.

In 1910 Frances Beale, widow of Joseph, conveyed the house and land on which it not stands to her daughter, Edith Mortimer, wife of Laurence. The Mortimer family owned this house and property until the mid 1950's.

BIBLIOGRAPHY and/or REFERENCES

Registry of Deeds-Barnstable County
Registry of Probate-Barnstable County
Barnstable County Atlas 1858, 1880, 1907
Otis, Amos, Genealogical Notes of Barnstable Families, 1888.
Oral History-Francis Whitehead, #2876 Main St., Barnstable, Mass.

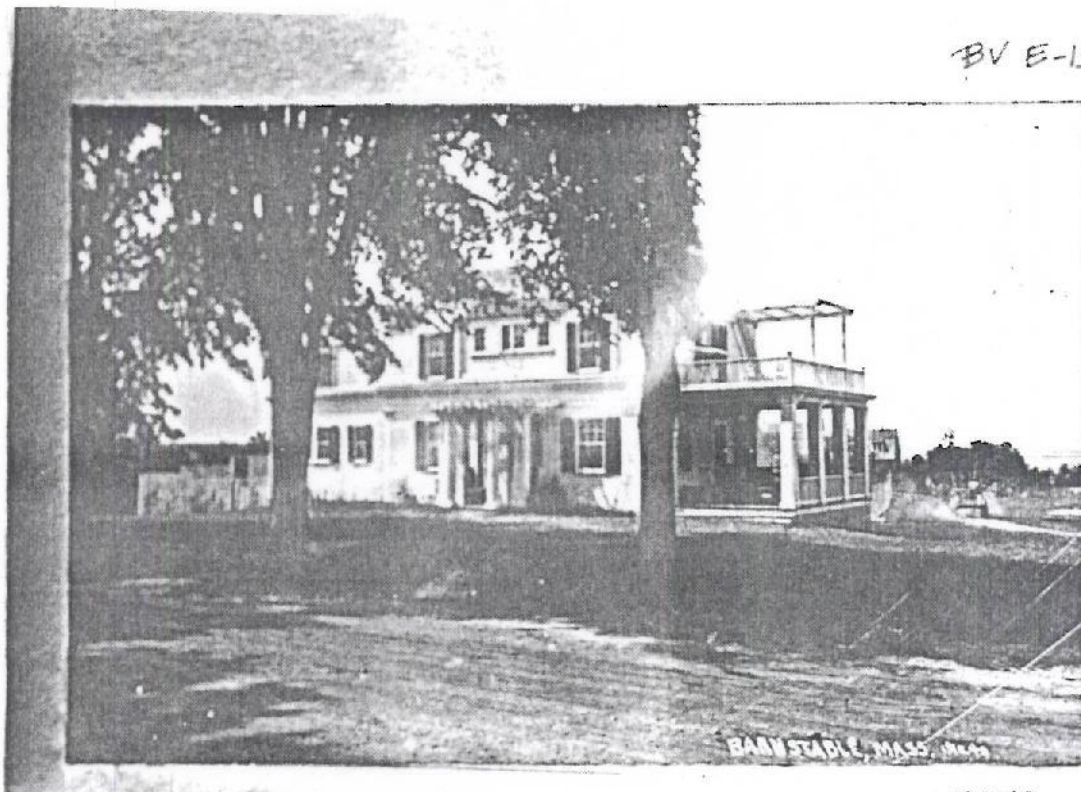
Photo Courtesy of Sturgis Library



BVE-15

Main St. east from L.Mortimer's & F.L.Maraspin

Photo courtesy of Sturgis Library



BVE-157

191240

BV E-154

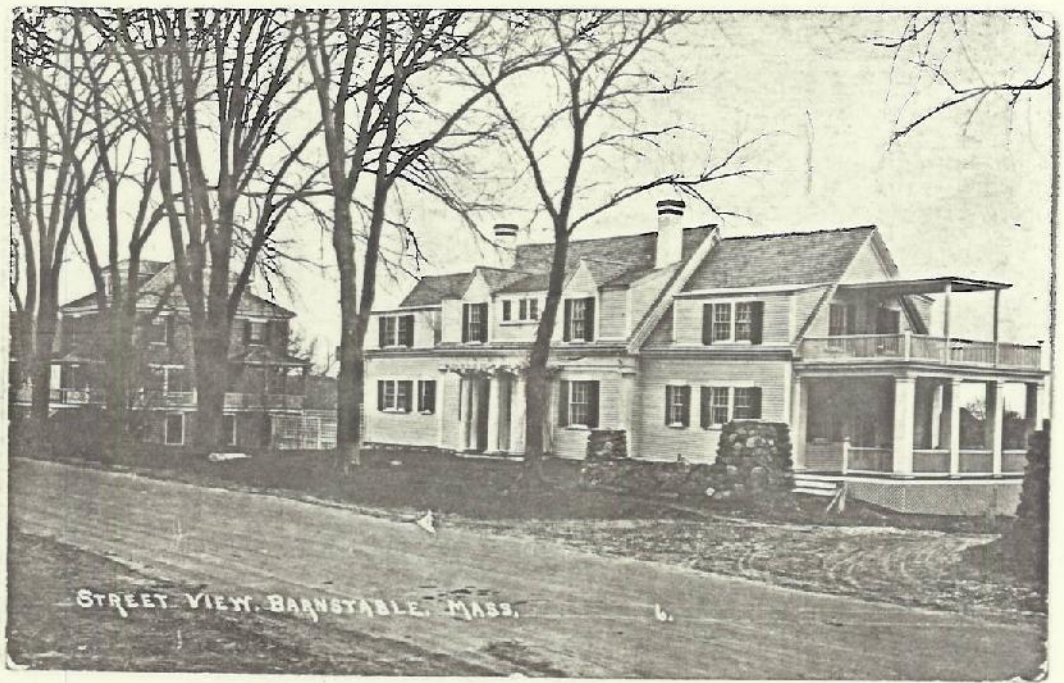


Photo Courtesy of Trayser Museum



GREENHOUSE

Map printed on: 12/18/2020



Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

2886 Main Street
Barnstable





Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Email erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply:

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door.
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool: Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12-17-2020

NOTE: All applications must be signed by the current owner

Owner (print): Todd Malfa Telephone #: 4143-326-9620

Address of Proposed Work: 2996 Main St, 6A Village: Barnstable Map Lot #: 27A-012

Mailing Address (if different) 11248 Falls Rd Lutherville-Timonium MD 21093

Owner's Signature Todd M. Malfa

Description of Proposed Work: Give particulars of work to be done: Replacement of approx. 20 windows on front/rear of house with new wood windows to match existing/original. Replace front door with new wood door.

Agent or Contractor (print): Art Dolgoff Telephone #: 508-509-4433

Address: _____ Email: Art@artdolgoff.com

Contractor/Agent signature: _____

<i>For committee use only</i>	This Certificate is hereby APPROVED / DENIED
Date _____	Members signatures _____
Conditions of approval _____	

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Stone / Cement

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: Painted White

Chimney Material: Brick Color: _____

Roof Material: (make & style) Red Cedar Shingle Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) 1 X 6 color white

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) Harvey-Majesty material Wood color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply): matcher Existing
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: Shaker - Brasco material Wood Color: Natural Wood / Fir

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood other material, specify _____ Color: _____

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

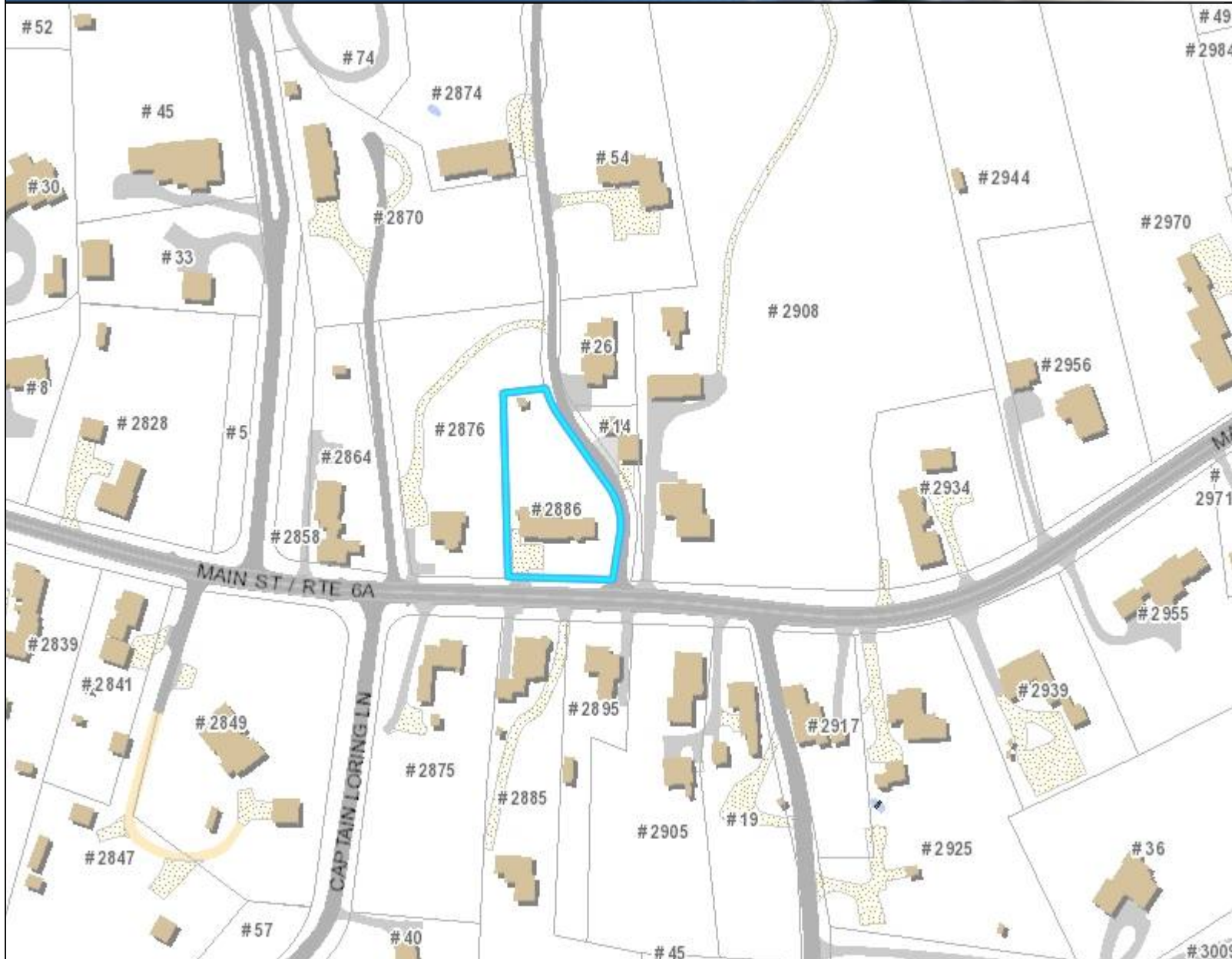
Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
 - Bridge
- Paved Median
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 12/18/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/18/2020



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us





01/31/2014





2886

01/31/2014



LANSING
BUILDING PRODUCTS

Manufacturing
ACKNOWLEDGEMENT

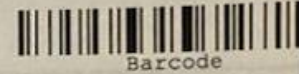
Customer Quote Summary

BILL TO:

LANSING BLDG PRODUCTS/HYANNIS MA
PO BOX 6649

SHIP TO:

LANSING BLDG PRODUCTS/HYANNIS MA
186 186 Breeds Hill Road



Barcode

Phone: 804-266-8893

Fax: 8042616743

HYANNIS
Phone: 508-775-7788

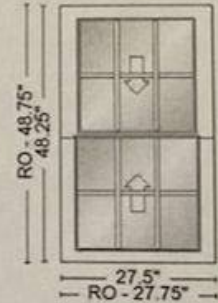
MA 02601-1860

Fax:

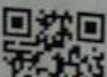
QUOTE NBR	CUST NBR	CUSTOMER PO	DATE CREATED	DATE ORDERED	ORDER TYPE
4941313	1141346	1026725	11/16/2020	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
ART D	None	Whse Delivery	LONDONDERRY MANUFACTURING		
CLERK		JOB NAME	COUPON		
rar - Rich Ranton		KIM/DOLGOFF			

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTENDED
10000-1	Classic DH , Unit Size 27.5 x 48.25, RO 27.75 x 48.75	2	\$303.24	\$606.48

Unit 1: U-Factor = 0.27, SHGC = 0.26, VT = 0.44, HII-M-48-00129-00002, Size Options = Custom Size, Transactional Order Type = Charge Order , Replacement, Fully Welded
 Frame Width (Inches) = 27.5, Frame Height (Inches) = 48.25
 Double Glazed, Double Low E, Argon Filled
 Base Color = White
 Single , Sash Limit Devices = Night Latch
 Full Screen, Full Screen Mullion, Fiberglass Mesh, Screen Shipping Separate
 Contour In-Glass, Colonial, Match Frame, 3W2H
 Head Expander
 Overall Frame Width (Inches) = 27.5, Overall Frame Height (Inches) = 48.25, Overall Rough Opening Width (Inches) = 27.75, Overall Rough Opening Height (Inches) = 48.75
 Clear Opening Width = 22.5, Clear Opening Height = 19, Clear Opening Square Footage = 2.97
 E.Star Zone:North=Yes, E.Star Zone:North-Central=Yes



Room Location: None Assigned



NANTUCKET COLLECTION

Flat Panel – Shaker Sticking

Designed for our harshest Northeast coastal weather. Unbeatable Construction

- Mortise and Tenon joinery with face-driven pins
- 2-piece laminated stile and rail construction
- 7/8" Simulated Divided Light (SDL) with Low-E Argon Insulating Glass
- Tenon and face pins same specie as door
- Stock doors have 17/16" Innerbond Double Hip-Raised Panel, Ovolo Sticking
- 5 1/2" Wide Stiles
- All Nantucket doors come with a 10-Year warranty with no building overhang required

3/4" Flat Panel – Shaker Sticking



Sapele Mahogany shown
77130-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Fir shown
77175-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Fir shown
77662-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Sapele Mahogany shown
77660-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Sapele Mahogany shown
77944-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"

SIDLIGHTS



Fir shown
77506-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Sapele Mahogany shown
77512-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Fir shown
77015-S
 2'-8", 3'-0" x 6'-8"
 3'-0" x 7'-0"



Sapele Mahogany shown
77663-S
 1'-2" x 6'-8"
 1'-2" x 7'-0"



Fir shown
77703-S
 1'-2" x 6'-8"
 1'-2" x 7'-0"

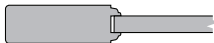


Sapele Mahogany shown
77705-S
 1'-2" x 6'-8"
 1'-2" x 7'-0"

PROFILE OPTIONS



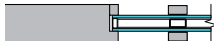
Shaker with 3/4" Flat Panel



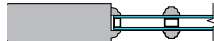
Ovolo with 3/4" Flat Panel



Ovolo with 17/16" Innerbond®
 Double Hip-Raised Panel



Shaker SDL Construction



Ovolo SDL Construction

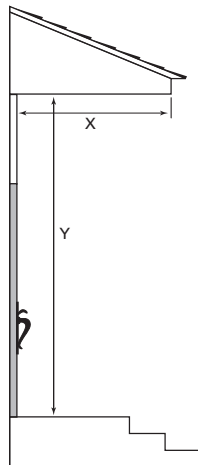
Exterior Wood Doors are beautiful... when installed properly and finished correctly!

Exterior Wood Doors have to be protected with proper overhangs and finishing. Manufacturers require this in order to provide valid warranty coverage.

For best performance and to meet the manufacturer's warranty, exterior doors should be installed under an overhang. Adequate overhang depends on typical weather conditions of the area where the door is installed, but at the minimum means an overhang projecting a distance from the structure equal to one half the distance between the bottom of the door and the bottom of the overhang.

Warranties may vary by manufacturer. Visit broSCO.com for specific details.

Climate	Direction Door Faces			
	North	South	East	West
Mild	$X = 1/2 Y$	$X = Y$	$X = 1/2 Y$	$X = Y$
Wet	$X = Y$	$X = Y$	$X = Y$	$X = Y$
Ocean	$X = 1/2 Y$	$X = Y$	$X = 1/2 Y$	$X = Y$



Door Pan Flashing Systems

Weather Out Flashing is dedicated to solving critical water intrusion problems. This door flashing products are specially designed to be simple to install, have built-in patented drain channels to direct the water out and easily fit in any width opening.



6-9/16" Door Flashing –



- 2 Corners 6"
- 1 Straight 32" with 1/2" Back-dam

Designed with conventional 6-9/16" construction in mind.

Installation:
Overlap using our waterproof tape with foil backing and Butyl-rubber adhesive.

4-9/16" Door Flashing –

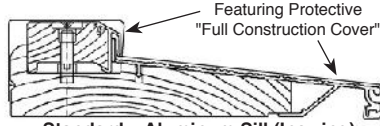
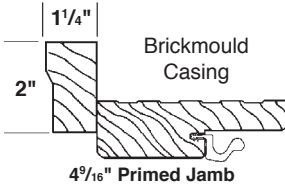


- 2 Corners 6"
- 1 Straight 26" with 1/2" Back-dam

Designed for use with windows and doors in a 4-9/16" wall. This system can also be used with double-hung windows in walls where the stool is elevated and will clear the back-dam.

Installation:
Use of a water-proof sealing tape at butt joints is required.

STANDARD FRAME



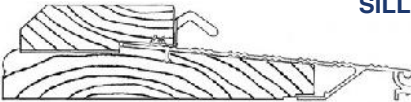
Standard – Aluminum Sill (Inswing)
Mill Finish, Satin Nickel & Bronze
with adjustable hardwood threshold

Exterior Door Jamb:	Wall Size					
	4-9/16"	5-1/4"	6-9/16"	8-1/8"	9-1/4"	11-1/8"
Finger-Joint Primed *	✓	✓	✓	✓	–	✓
FRAMESAVER *	✓	–	✓	–	✓	–
PINE	✓	✓	✓	–	–	–
FIR	✓	–	✓	–	–	–
OAK	✓	–	✓	–	–	–
MAHOGANY	✓	–	✓	–	–	–
CLAD PLUS II	✓	–	✓	–	–	–
COMPOSITE Primed *	✓	–	✓	–	–	–
COMPOSITE Mahogany-Grained *	✓	–	✓	–	–	–
COMPOSITE White Cap *	✓	–	✓	–	–	–

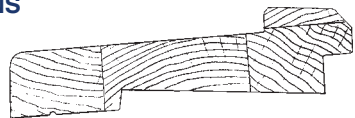
Exterior Door Casing:	Brickmould	Flat 1-1/16" x 3-1/2"	Cape Cod Flat 11/16" x 4-1/2"		Flat 1-1/16" x 5-1/4"
			✓	✓	
Finger-Joint Primed *	✓	✓	✓	✓	
FRAMESAVER *	✓	✓			
PINE	✓	✓			
FIR	✓	✓			
OAK	✓	✓			
MAHOGANY	✓	✓			
CEDAR	–	✓			
CLAD PLUS II	✓	–			
PVC White	✓	✓			
PVC White with J-Channel	✓	✓			
COMPOSITE Primed *	✓	✓			
COMPOSITE White Cap *	✓	✓			
COMPOSITE Mahogany-Grained *	✓	–			

* Limited Lifetime Warranty

SILL OPTIONS



**Outswing – Aluminum – Mill Finish
Hardwood Threshold**
Featuring Full Construction Sill Cover



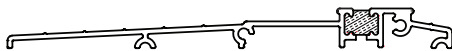
Oak Sill – Laminated (Inswing)



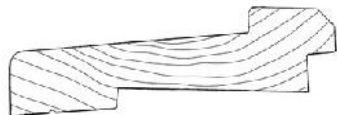
Composite Sill



Oak Sill – Solid Base (Inswing)



Public Access Sill (Inswing) – With Thermal Break



Mahogany Sill – Solid (Inswing)



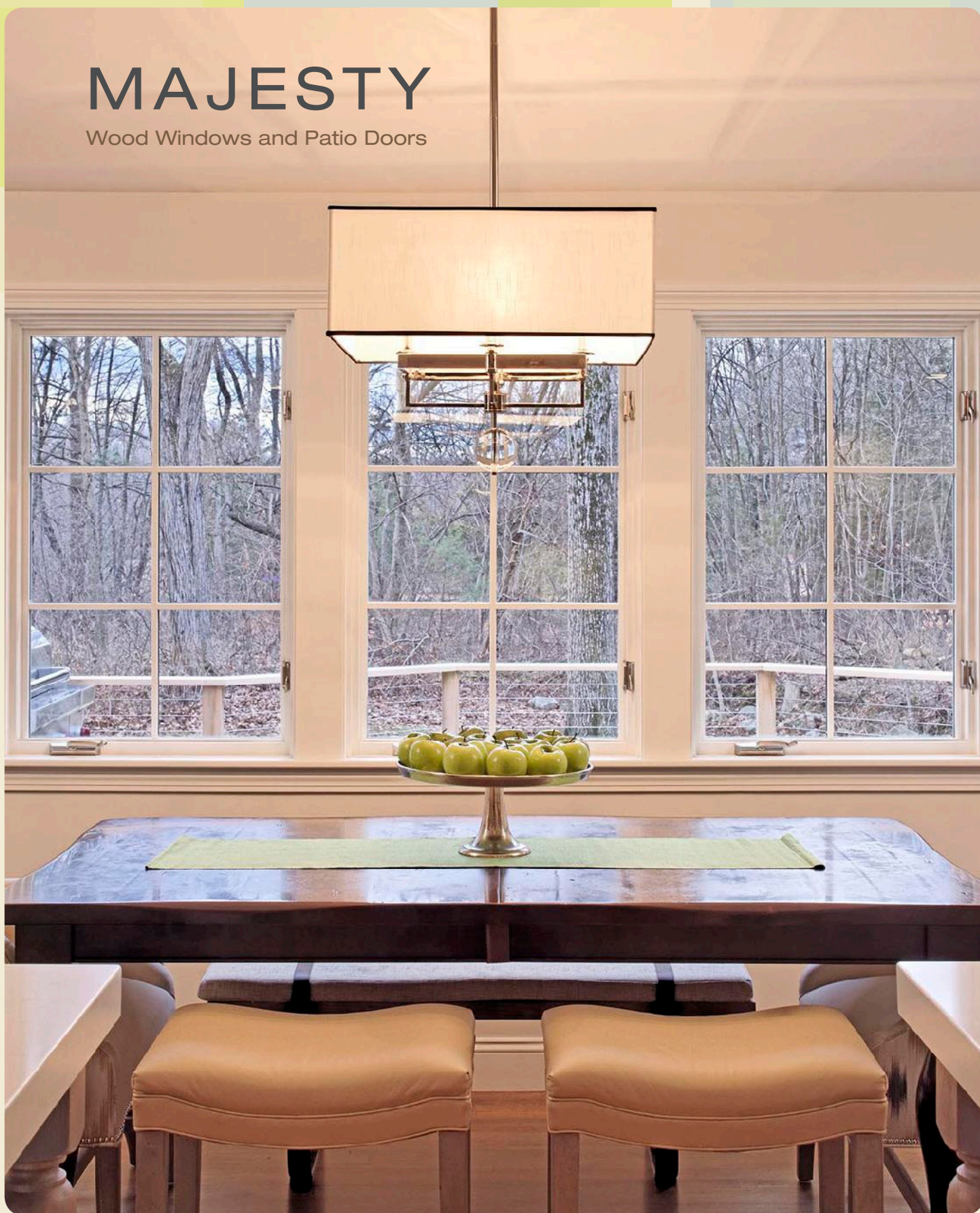
Public Access Sill (outswing) – With Thermal Break



Oak Sill – Laminated (Outswing)

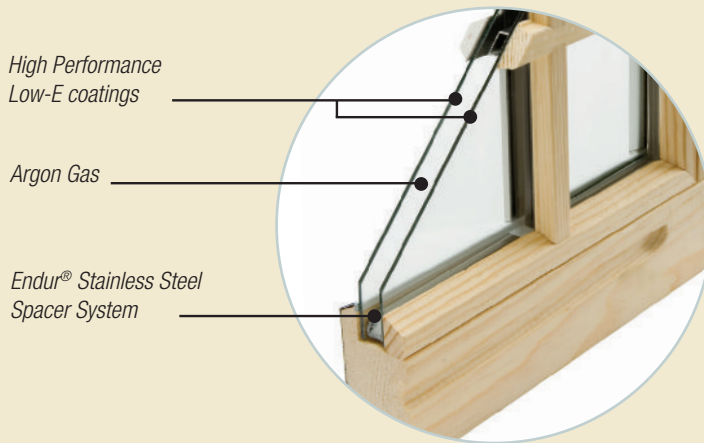
MAJESTY

Wood Windows and Patio Doors



The best components for the best performance.

In keeping with traditional wood windows, Majesty windows withstand the elements and operate smoothly for a lifetime. Made in the USA, Majesty combines its impressive energy efficient glazing with a well-built, durable aluminum clad wood frame and sash – manufactured by folks who have been making windows for more than 50 years. That level of expertise is what sets Majesty apart; the perfect combination of state-of-the-art engineering, energy-saving value, and stylish elegance.



MAJESTY PREMIUM GLASS

Majesty double hung windows come standard with our Premium glass, which incorporates two panes of glass, high-performance double Low-E coatings, stainless steel spacer system, and argon gas. This glass system meets the most stringent ENERGY STAR® requirements which will significantly enhance the comfort in your home and help save you money on your home energy costs.



SOLID PONDEROSA PINE

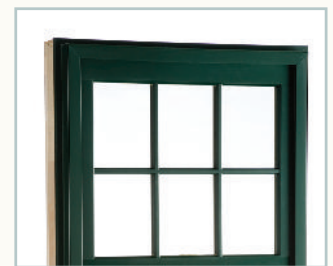
The wood components of Majesty products resist rot, degradation, splitting, warping, and mildew through a controlled treatment process that immerses Ponderosa Pine in a special preservative similar to high quality deck sealant applications.



Strong and straight grained Ponderosa pine with exceptional beauty and strength

ALUMINUM CLADDING

The extruded 0.050" wall thickness of the frame provides strength, while the 0.024" wall thickness of the sash allows the cladding to be precision molded to protect the window sash and patio door panels from exterior environmental conditions. The result is eye catching, beautiful bevels and the sought-after aesthetics of custom wood windows.



Aluminum Clad Exterior shown in Forest Green (See options page for additional colors)

An electrostatic paint process adheres paint evenly onto all surfaces, ensuring an extremely durable finish that resists fading.

WEATHERSEALS

Concerned about installing wood windows in your climate? Don't be! Majesty seals are designed to perform over a wide range of temperatures and weather conditions. A lightweight polypropylene stiffener additive, which does not absorb water or collect mold, creates an airtight seal that does not distort over time. The seal ensures a consistent barrier from external conditions and allows for smooth window and patio door operation.



Foam-Tite compression bulb seals provide maximum protection from air and water

An average of 300 inches of custom designed Foam-Tite® compression bulb seals encase the full perimeter of the sash of Majesty windows – similar to seals you see on dishwashers or refrigerators.

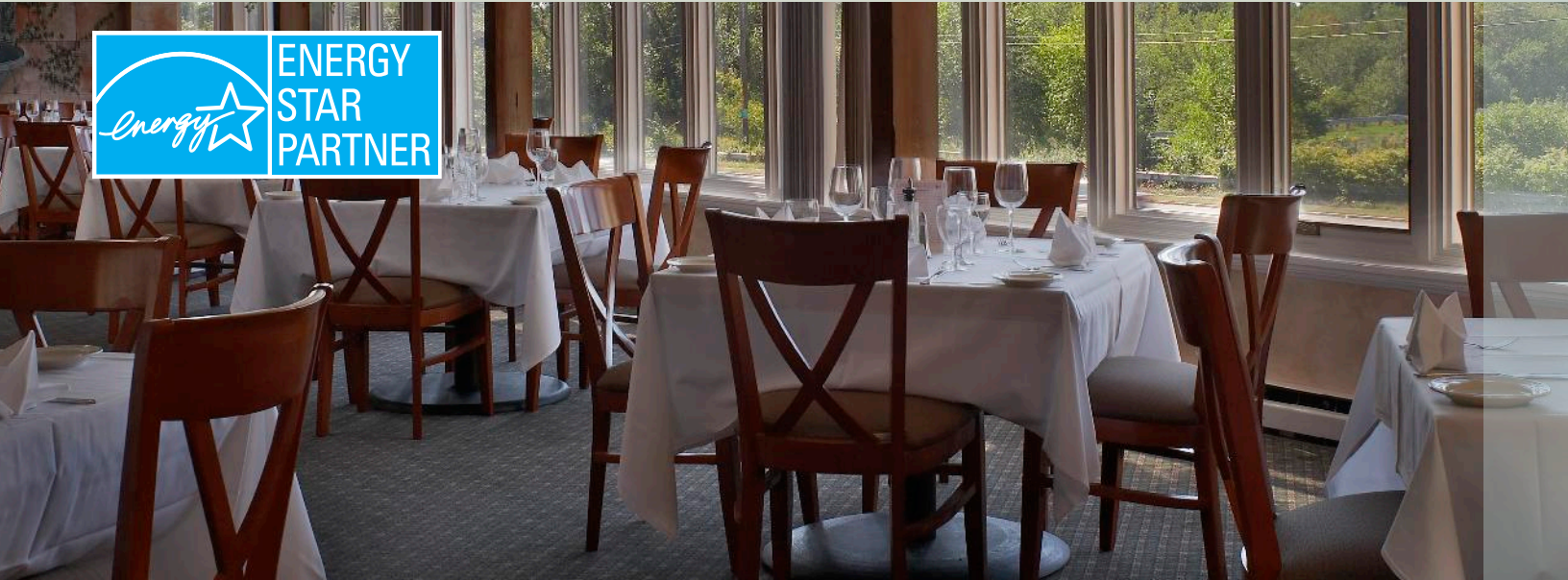
PVC JAMB LINER

The rigid non-compression Jamb Liner adds strength, stability and reduces air infiltration, while its special beveled design allows the sash to open and tilt easily.



PVC Jamb Liner available in both White or Almond

Products for every application



PICTURE WINDOW

Whether you're replacing an old window or installing a new one, Majesty picture wood windows can make a dramatic difference. If you are opening up a room to a spectacular view, picture windows are a great choice. When paired with Majesty awning windows, the combination optimizes visible light with ability to vent fresh air into the room.



AWNING WINDOW

When you need added ventilation, Majesty awning wood windows hinge at the top and open outward, allowing fresh air into the room while deflecting rain away from your property.

**HARDWARE
FEATURES**

*Recessed
Sash Lock*



**SASH LIFT
OPTIONS**

*Routed Top
Sash standard;
Bottom optional*



Hook



Loop



MAJESTY DOUBLE HUNG

Superb architectural details include a refined 45° glazing bead, overlapping grids, and elegant recessed hardware to provide a traditional and sleek look. Full weatherstripping around both sash prevents air infiltration and eliminates drafts. Caring for your Majesty double hung windows is a snap: both the top and bottom sash tilt in for easy cleaning.

**HARDWARE
FEATURES**

*Compact
Folding
Handle*



MAJESTY CASEMENT

An easy to open casement window is ideal over the kitchen sink, and casements are also favored in contemporary homes for their sleek, unobstructed expanses of glass. Full weatherstripping around the sash keeps your home comfortable, and the dual operating lock system keeps your home secure.

**HARDWARE
FEATURES**

*Recessed
Sash Lock*



MAJESTY GLIDING

The gliding window is an excellent choice for rooms facing walkways, porches or patios. Optimize fresh air and sunlight without compromising space or energy efficiency. Our gliding window features a recessed lock and routed operable sash to provide an enhanced view, a clean look, and a secure lock each time.



HINGED AND GLIDING PATIO DOORS

Your patio is an extension of your home, and your home is an extension of yourself and your style. Enjoy the peace of mind that comes with a low-maintenance, durable, and secure aluminum clad wood frame and bring a bit of functional charm to your outdoor space!

Majesty Gliding Patio doors offer contemporary hardware options and narrow door stiles save space while delivering a sleek, casual look. Available in 2, 3 and 4-Lite design options, the door glides effortlessly along a continuous fiberglass sill. The heavy-duty weatherstripping ensures your patio door will open without a hitch, regardless of the season.

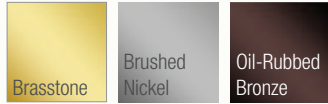
Majesty Hinged Patio doors' classic hardware and French panel design offer accessible entryways that swing in, inviting the outdoors into your home, or swing out, extending your home to the outdoors. Hinged patio doors offer a traditional, elegant style and are available in 1, 2, 3 or 4-Lite panel design options. The integral frame drip edge enhances water protection and a dual seal frame weatherstripping optimizes air and thermal performance.



Window & Door Options

HARDWARE FINISHES

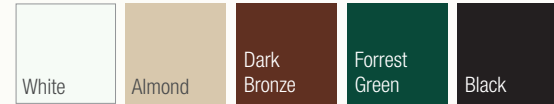
PREMIUM



STANDARD



EXTERIOR COLORS



INTERIOR WOOD OPTIONS



Warm, unfinished pine ready for you to stain or paint once installed.



Professionally prefinished for no mess or hassle post-installation. 10 year warranty. Gliding window only available in factory primer.

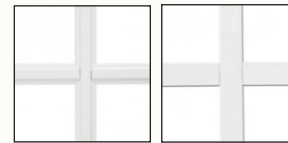
Due to printing limitations, finishes and colors shown are for representation only.

GRIDS

GRIDS

BETWEEN GLASS

Sealed between the panes of glass, GBG is easy to clean.



Contoured

Flat

SIMULATED

DIVIDED LITES

The most authentic look of divided lites to complement traditional architecture



ADDITIONAL OPTIONS

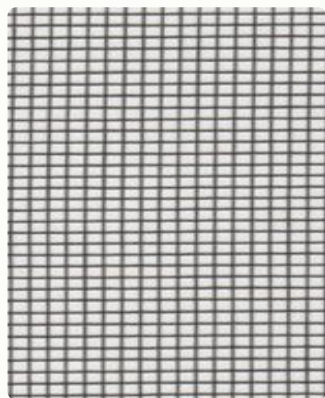
- Obscured glazing
- Tempered glazing
- Jamb line available in White or Almond

SCREEN OPTIONS*

- Extruded Aluminum Frame
- FlexScreen Frame
- Fiberglass Wire
- VIEWS Wire (premium)

INSTALLATION OPTIONS

- 4-9/16" jamb depth
- 6-9/16" factory applied ext. jamb option



Premium VIEWS (Virtually Invisible) Screens

Upgrade to GREENGUARD certified VIEWS screens to enjoy 15% greater openness providing 25% better airflow.

25% more optical clarity means you can focus on a crisper, brighter view.

*Screen options vary per operating style



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign : New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/21/2020

NOTE: All applications must be signed by the current owner

Owner (print): Todd + Ereni Malfa Telephone #: 443-418-3116

Address of Proposed Work: 2386 Main St 6A Village Barnstable Map Lot # 279012

Mailing Address (if different) 11248 Falls Road Lutherville-Timonium, MD 21093

Owner's Signature: Ereni Malfa

Description of Proposed Work: Give particulars of work to be done: We have submitted an application to take down an existing green house on the front of the house. We would like to replace it with a farmers porch. (Cedar shingle roof, decking will be cedar or ipa)

Agent or Contractor (print): Art Dolgoff Telephone #: 508-509-4433

Address: _____ Email: art@artdolgoff.com

Contractor/Agent' signature: _____

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) stone/cement

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color: Painted white

Chimney Material: Brick Color: _____

Roof Material: (make & style) red cedar shingle Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) 1x6 color white

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood other material, specify _____ Color: natural

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name _____

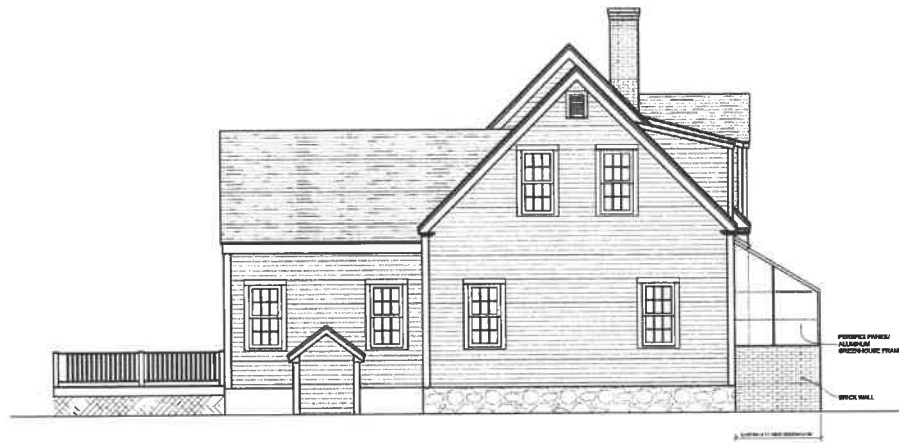


EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

 GREYWING DESIGN 131 QUAKER MEETINGHOUSE ROAD, EAST SANDWICH, MA 02537 www.greywing.com	ELEVATIONS	
	DATE: 20 DEC 2020 SCALE: 1/4" = 1'-0"	PROJECT: ADDITIONS & RENOVATIONS MALFA RESIDENCE 2888 MAIN STREET, BARNSTABLE
© 2020 Greywing Design All rights reserved	508.364-1576	PROJECT NO: G201203 SHEET: A1 of 4



EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION

 <p>GREYWING DESIGN 131 QUAKER MEETINGHOUSE ROAD, EAST SANDWICH, MA 02537 www.greywing.com</p>	ELEVATIONS	
	<p>DATE: 29 DEC 2020 SCALE: 1/4" = 1'-0"</p>	<p>PROJECT: ADDITIONS & RENOVATIONS MAKFA RESIDENCE 2880 MAIN STREET, BARNSTABLE PROJECT NO. C201203 SHEET: A2 of 4</p>
<p>© 2020 Greywing Design 508 384-1578 www.greywing.com</p>		

2886 Main Street
Barnstable





December 18, 2020

35 Lyman Street
Northboro, MA 01532

508 393-8200
508 393-4244 Fax
signs@ViewPointSign.com
www.ViewPointSign.com

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Association
Industrial Fabrics Association
International

Town of Barnstable
Barnstable Old Kings Hwy. Historic District Commission
200 Main St.
Hyannis, MA 02601

Re: D'Angelo's – 2145 Iyannough Rd. (Rte. 132), West Barnstable

Hi Erin!

Enclosed please find an application and associated documents for the Barnstable Old Kings Highway District Commission to review a new wall sign at the above location. I've also included the checks for the fee and legal ad, as well as six first class stamps for mailing.

The proposed wall sign is going in place of an existing Subway wall sign. The proposed wall sign is 38" h x 90-3/8" w (23.8 SF), the pre-existing sign for Subway was 23.95 SF, so they are about the same size.

Please feel free to call me with any questions or if you need more information. We are hoping to be included on the agenda for the meeting on January 13, 2021. I look forward to hearing from you!

Best Regards,

A handwritten signature in blue ink that reads "Lauren Delarda".

Lauren Delarda
Permit Manager
Viewpoint Sign & Awning
35 Lyman St.
Northboro, MA 01532
508-393-8200 x21
LCronin@viewpointsign.com



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/18/2020

NOTE: All applications must be signed by the current owner

Owner (print): Commonwealth of MA c/o Global Montello Group Telephone #: 781-894-8800 (Andrew Slifka)

Address of Proposed Work: 2145 Iyannough Rd. Village West Barnstable Map Lot # 215027001

Mailing Address (if different) 800 South St., Suite 500, Waltham, MA

Owner's Signature See attached authorization letter

Description of Proposed Work: Give particulars of work to be done: Install (1) new wall sign, internally illuminated, overall size is 38"h x 90-3/8"w (23.8 SF), to be installed in place of pre-existing Subway sign which was 30"h x 115"w (23.95 SF)

Agent or Contractor (print): Lauren Delarda - Viewpoint Sign & Awning Telephone #: 508-393-8200 x21

Address: Viewpoint Sign & Awning - 35 Lyman St., Northboro, MA 01532 Email: LCronin@viewpointsign.com

Contractor/Agent' signature: 

<p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p>
--	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: 38" h x 90-3/8" w Type/Materials: Aluminum, polycarbonate Color: White, red, gray

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer)  Print Name Lauren Delarda - Viewpoint Sign & Awning



GLOBAL MONTELLO GROUP CORP., 800 South Street, Suite 500, P.O. Box 9161, Wallham, MA 02454-9161 ph: 781-894-8800 fx: 781-398-9000

November 23, 2020

Viewpoint Sign & Awning
35 Lyman Street
Northboro, MA 01532

RE: Sign Permit – Route 132 & Route 6 (aka 2145 Iyannough Road), Barnstable, MA

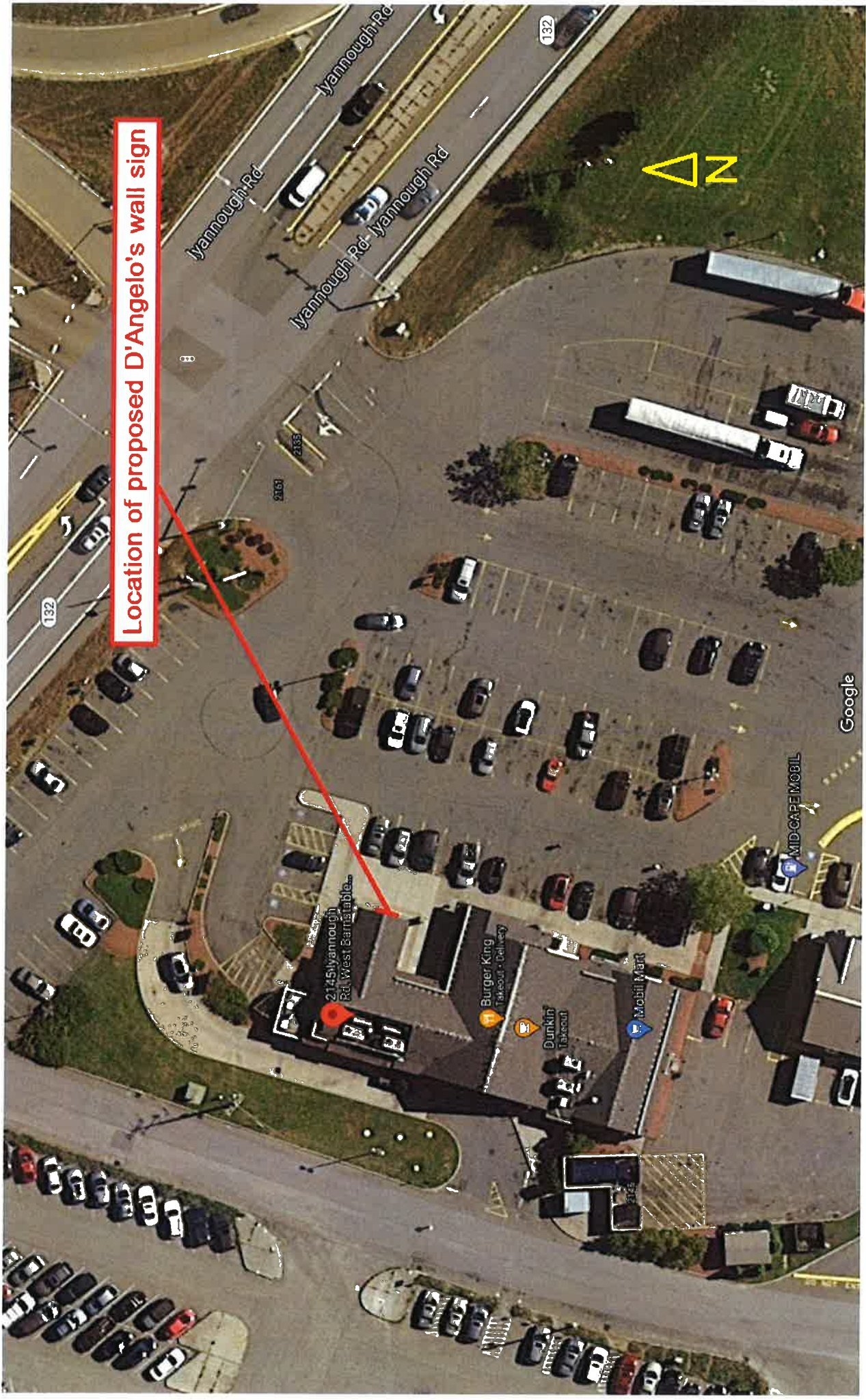
To Whom It May Concern,

Global Montello Group Corp. (“Global”) controls and operates the property located at Route 132 & Route 6 (aka Iyannough Road), Barnstable, Massachusetts. Global hereby authorizes Viewpoint Sign & Awning, to execute, submit and process applications and other applicable materials to the Town of Barnstable on behalf of Global for the purpose of permitting and installation of signs and/or awnings.

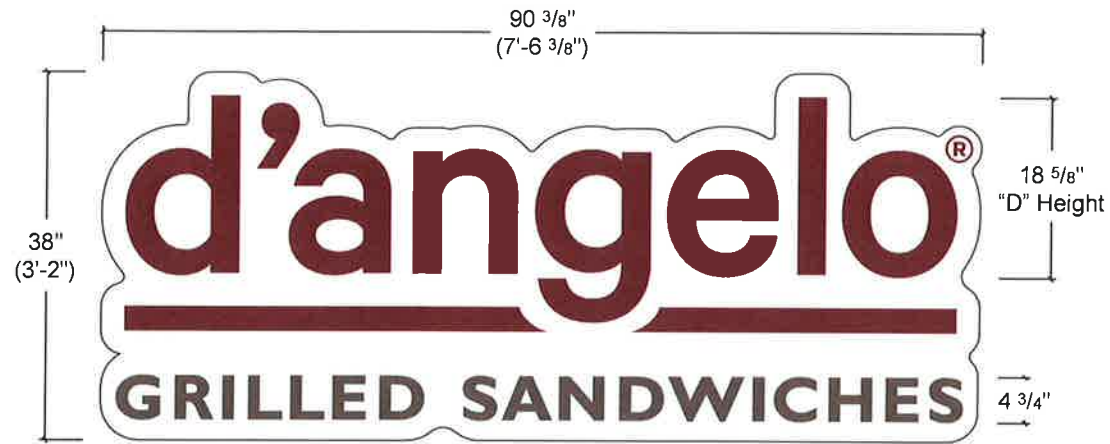
Sincerely,



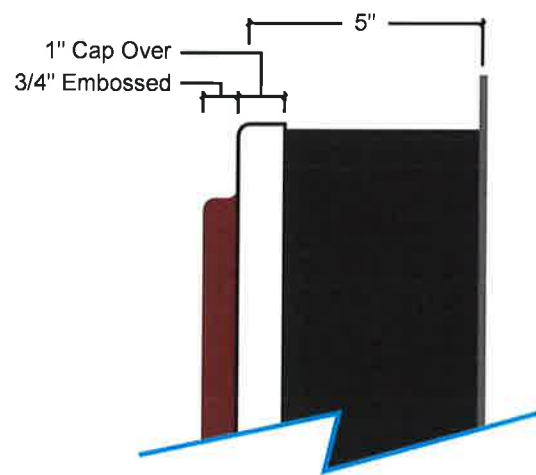
Andrew Slifka,
Executive Vice President



Location of proposed D'Angelo's wall sign



E1 Elevation: (Qty-1) #11185 Cloud Wall Sign
 Scale: 5/8"=1' Square Footage: 38" x 90 3/8" = 23.8 sf.



SD Side Detail: Typical
 Scale: NTS

Description:

- (Qty 1) Cloud style sign cabinet.
- internally illuminated with LEDs
- aluminum cabinet
- vacuum formed "cap-over" clear polycarbonate face with embossed graphics
- All graphics are painted and back sprayed white.
- Mounted flush to fascia with required hardware.

Logo/Typeface:

Supplied logo 2020
 (Edited by ViewPoint)

Colors:

- Cabinet - painted Black
- Face - clear polycarbonate backspayed white

Dangelo Face Graphics:

- Burgundy - painted to match PMS 188c
- Gray - painted to match PMS Warm Gray 11c (TBD)

Installation:

By ViewPoint / Power by others.
 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code (NEC) and/or other applicable Local Electrical Codes (LEC).
 This includes proper grounding and bonding of the sign.

Proposed



PE Photo Elevation
 Scale: NTS

Existing



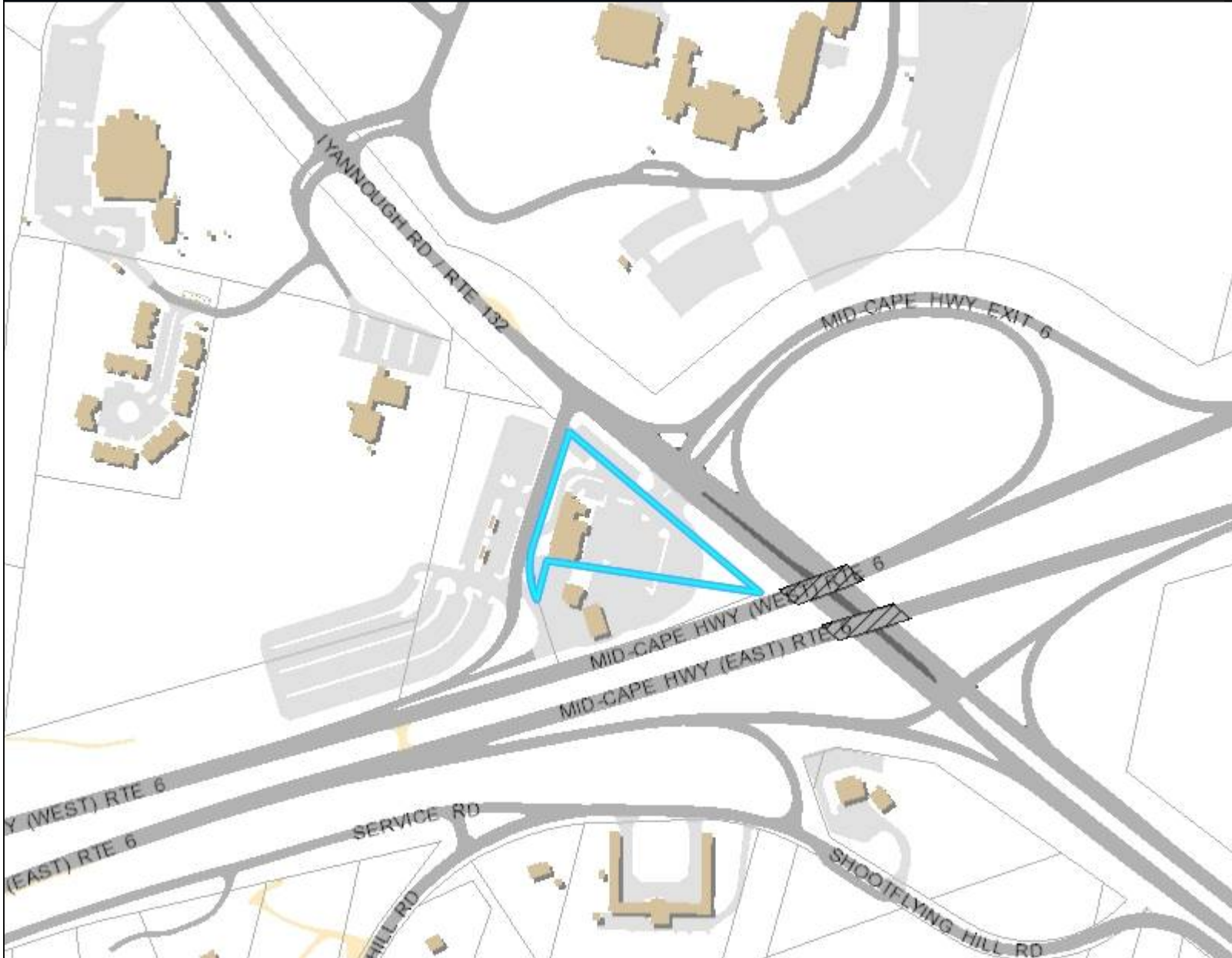
Job: D'Angelo
 Location: 2155 Iyanough Rd. Hyannis, MA
 Account Manager: Bart Steele
 File: DA_2155Iyan-HyannisMA_CloudSign_1.cai
 Date: 04.30.20 1.75
 Designer: Steven Manetta

Revisions:
 11.20.20 .75 MH
 12.08.20 .25 PR

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ViewPoint SIGN AND AWNING
 1.508.393.8200
 FAX 1.508.393.4244

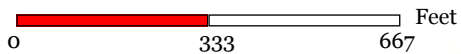
Customer Approval
 Acct. Manager Approval
 Production Approval
 TBD / VIF



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 12/21/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

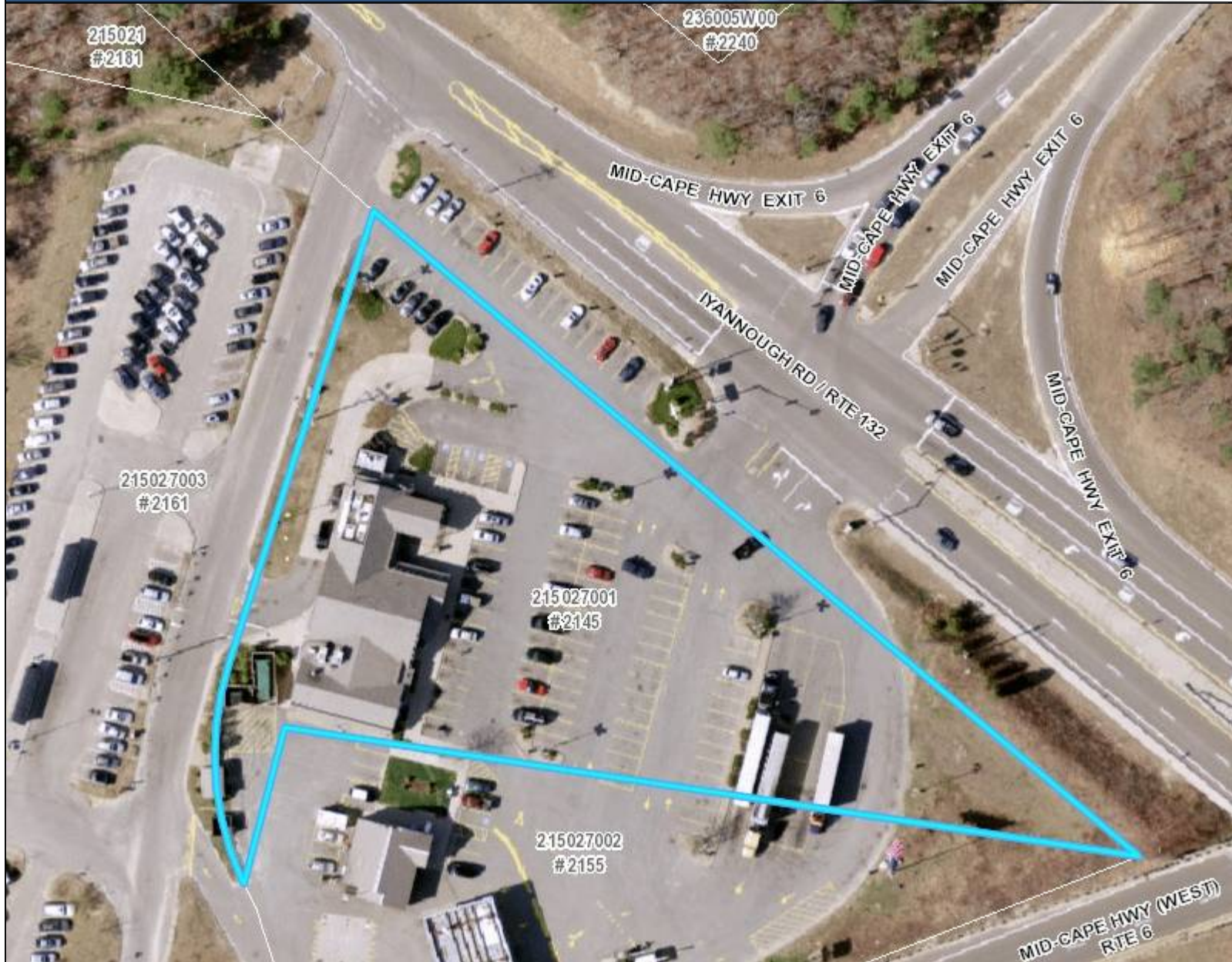
367 Main Street, Hyannis, MA 02601

508-862-4624

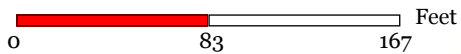
gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 12/21/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 12/22/20

NOTE: All applications must be signed by the current owner

Owner (print): Robert + Suzanne Kittredge Trust Telephone #: 617-784-0135
 Address of Proposed Work: 172 Keveny Lane Village Cummaquid Map Lot # 63
 Mailing Address (if different) 32 Miller Street, Medfield, MA, 02052
 Owner's Signature [Signature]

Description of Proposed Work: Give particulars of work to be done:
new three bedroom house w/ attached garage

Agent or Contractor (print): Elaine Bellefeuille Telephone #: 508-280-7031
 Address: 17 Derby Lane, Harwich, MA, 02645 Email: belle.interiors@comcast.net
 Contractor/Agent' signature: _____

<p><i>For committee use only</i></p> <p>Date _____</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p>	<p>This Certificate is hereby APPROVED / DENIED</p>
---	--

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Cement

Siding Type: Clapboard ___ shingle other ___
Material: red cedar ___ white cedar other ___ Color: natural

Chimney Material: stone Color: NE Fieldstone

Roof Material: (make & style) asphalt-CertainTeed Color: weathered wood
Landmark Pro

Roof Pitch(s): (7/12 minimum) varies-see (specify on plans for new buildings, major additions)
plan

Window and door trim material: wood ___ other material, specify azek

Size of cornerboards N/A size of casings (1 X 4 min.) 1x4 color white

Rakes 1st member 1x10 2nd member 1x3 Depth of overhang 12"

Window: (make/model) Anderson 400 material vinyl-clad wood color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: varies-see plan material ___ Color: white

Garage Door, Style Clopay Size of opening 9'W x 8'H Material steel Color white
Canyon Ridge carriage w/composite overlay

Shutter Type/Style/Material: N/A Color: ___

Gutter Type/Material: aluminum Color: white

Deck material: wood ___ other material, specify TimberTech Color: coastline

Skylight, type/make/model: N/A material ___ Color: ___ Size: ___

Sign size: N/A Type/Materials: ___ Color: ___

Fence Type (max 6') Style N/A material: ___ Color: ___

Retaining wall: Material: stone veneer

Lighting, freestanding ___ on building illuminating sign ___

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [Signature] Print Name Elaine Bellefeuille

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.

Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:

- Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
- The location of existing and proposed buildings and structures, and lot lines.
- Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
- Existing buffer areas to remain.
- Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
- The location, number, size and name of proposed new trees and plants.
- Driveway, parking areas, walkways, and patios indicating materials to be used.
- Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
- All proposed exterior lighting and signs.

Sketch or photos of adjacent properties, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 _____ sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

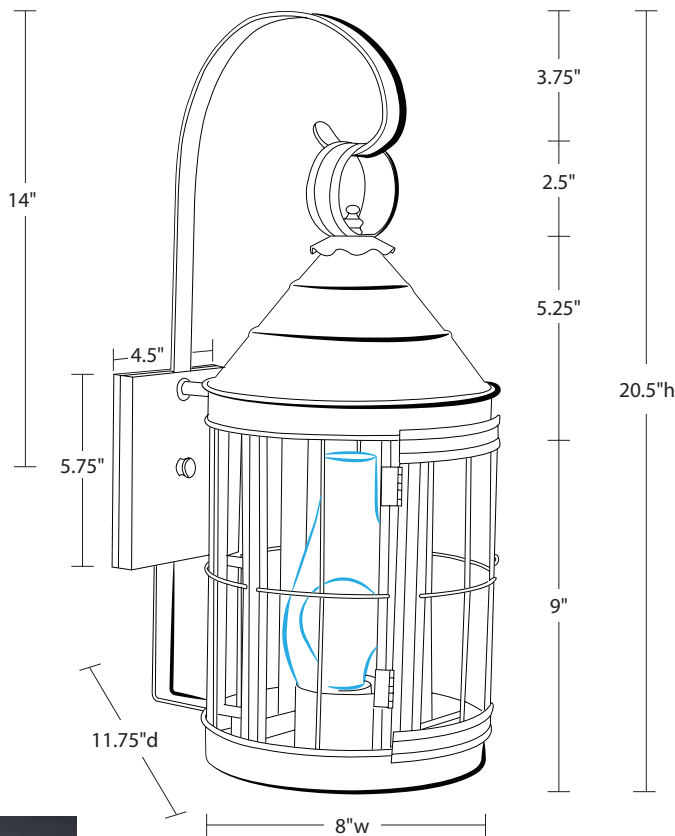
Building 1 _____ sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 2,475 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 3092 sq. ft. Building 2 _____



3337
 Heal Collection
 Wall Sconce

Dimensions
 Width: 8"
 Depth: 11.75"
 Height: 20.5"

Mounting Height: 14"
 Mounting Area: 4.5" x 5.75"

Socket Option(s)
 (MED) Medium Base; 75 watt max
 (LT2) Candelabra Base; 60 watt max

UL & cUL Listed
 Suitable for wet locations

Finishes
 RB - Raw Brass
 AB - Antique Brass
 DAB - Dark Antique Brass
 DB - Dark Brass
 VG - Verdi Gris
 RC - Raw Copper
 AC - Antique Copper
 DAC - Dark Antique Copper

Glass Options
 CLR - Clear
 CSG - Clear Seedy
 SMG - Seedy Marine
 FST - Frosted

Glass Hurricane Chimney Options
 CLR - Clear
 FCIM - Frosted



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 email: info@northeastlantern.com
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124



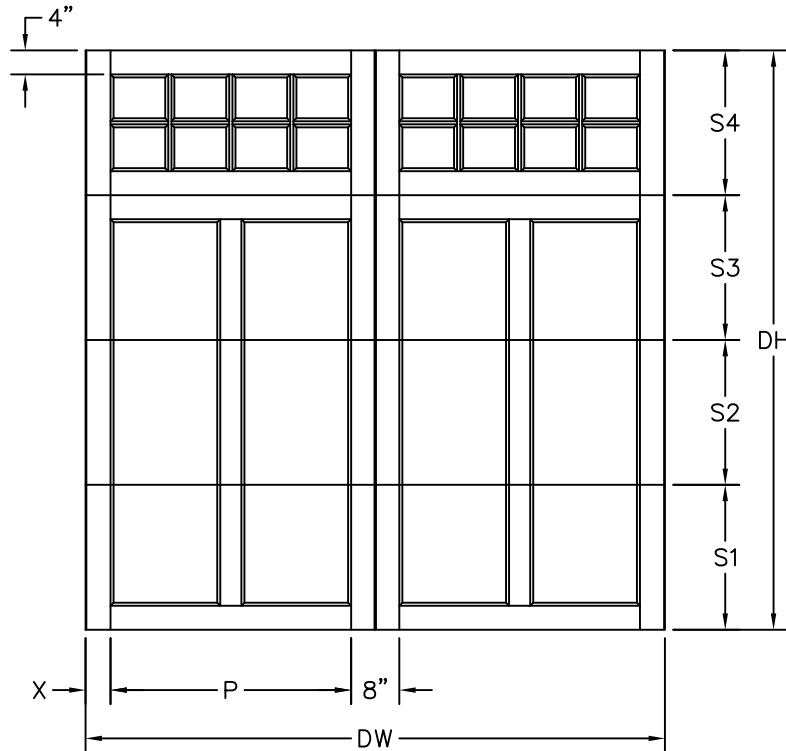
125

REVISIONS		
REV. No.	DATE	DESCRIPTION
00	03/13/13	RELEASED
01	07/30/13	UPDATED NOTES

NOTES:

- 1.) CUSTOMER TO SELECT TRACK AND COUNTERBALANCE OPTIONS WHEN PLACING ORDER.
- 2.) STANDARD DOOR CONFIGURATION INCLUDES ONE SLIDE LOCK. OTHER LOCK OPTIONS ARE AVAILABLE.

TOP SECTION OPTION: SQ24



DW	X	P
6'-2"	4.144"	28.856"
6'-4"	5.144"	28.856"
7'-2"	SEE SHEET 2	
7'-6"	4.144"	36.856"
7'-8"	5.144"	36.856"
8'-0"	4.144"	39.856"
8'-2"	5.144"	39.856"
8'-6"	SEE SHEET 2	
9'-0"	4.144"	45.856"
9'-2"	5.144"	45.856"
10'-0"	SEE SHEET 2	

DH	S1	S2	S3	S4
6'-3"	NOT AVAILABLE			
6'-6"	18"	18"	18"	24"
6'-9"	18"	21"	18"	24"
7'-0"	18"	24"	18"	24"
7'-3"	21"	21"	21"	24"
7'-6"	24"	18"	24"	24"
7'-9"	24"	21"	24"	24"
8'-0"	24"	24"	24"	24"

Clopay®
Building Products Company

FRONT ELEVATION
VIEW DRAWING

IMPORTANTE: This document must be signed and returned prior to any fabrication. Please reference this drawing number on all correspondence. Thank you!

NOTICE: Confidential/Proprietary information of CLOPAY BUILDING PRODUCTS CO. is contained herein and may not be disclosed, used, duplicated, made available, or distributed without its prior consent. Failure to observe this notice may result in liability for any damages and losses resulting therefrom.

DRAWN BY: SQB

DATE: 03/13/13

APPROVAL SIGNATURE:

APPROVAL DATE:

CUSTOMER: COACHMAN SERIES

JOB: FRONT ELEVATION

DRAWING NUMBER:
C4K-2P-4S-12-SQ24

REV. 01

CSR/DC: TROY, OHIO

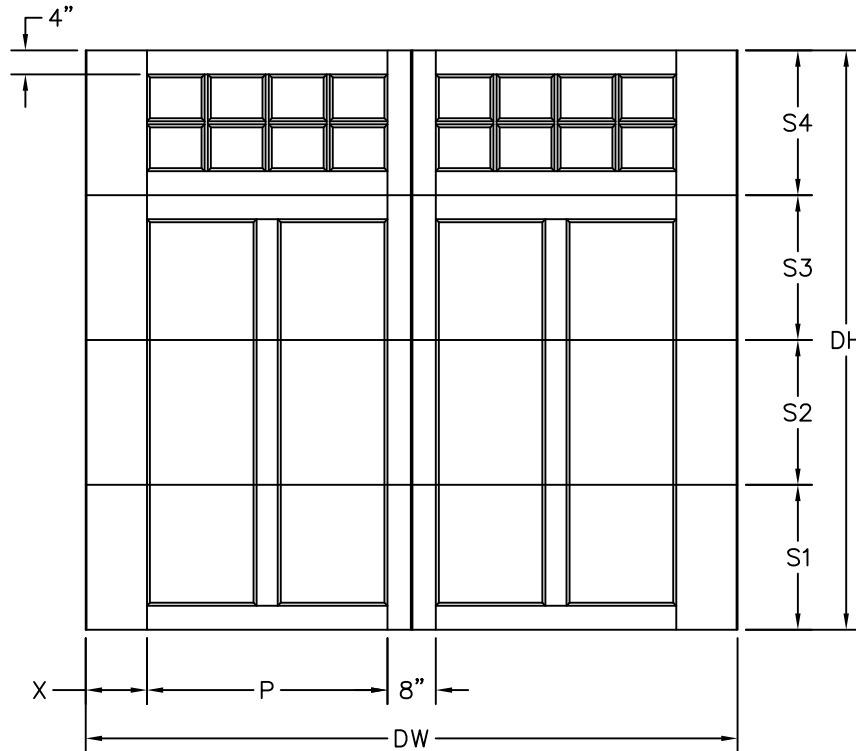
SHEET: 1 of 2

REVISIONS		
REV. No.	DATE	DESCRIPTION
00	03/13/13	RELEASED
01	07/30/13	UPDATED NOTES

NOTES:

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- 2.) STANDARD DOOR CONFIGURATION INCLUDES ONE SLIDE LOCK. OTHER LOCK OPTIONS ARE AVAILABLE.

TOP SECTION OPTION: SQ24



DW	X	P
7'-2"	10.144"	28.856"
8'-6"	10.144"	36.856"
10'-0"	10.144"	45.856"

DH	S1	S2	S3	S4
6'-3"	NOT AVAILABLE			
6'-6"	18"	18"	18"	24"
6'-9"	18"	21"	18"	24"
7'-0"	18"	24"	18"	24"
7'-3"	21"	21"	21"	24"
7'-6"	24"	18"	24"	24"
7'-9"	24"	21"	24"	24"
8'-0"	24"	24"	24"	24"

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Building Products Company

FRONT ELEVATION
VIEW DRAWING

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DRAWN BY: SQB

DATE: 03/13/13

APPROVAL SIGNATURE:

APPROVAL DATE:

CUSTOMER: COACHMAN SERIES

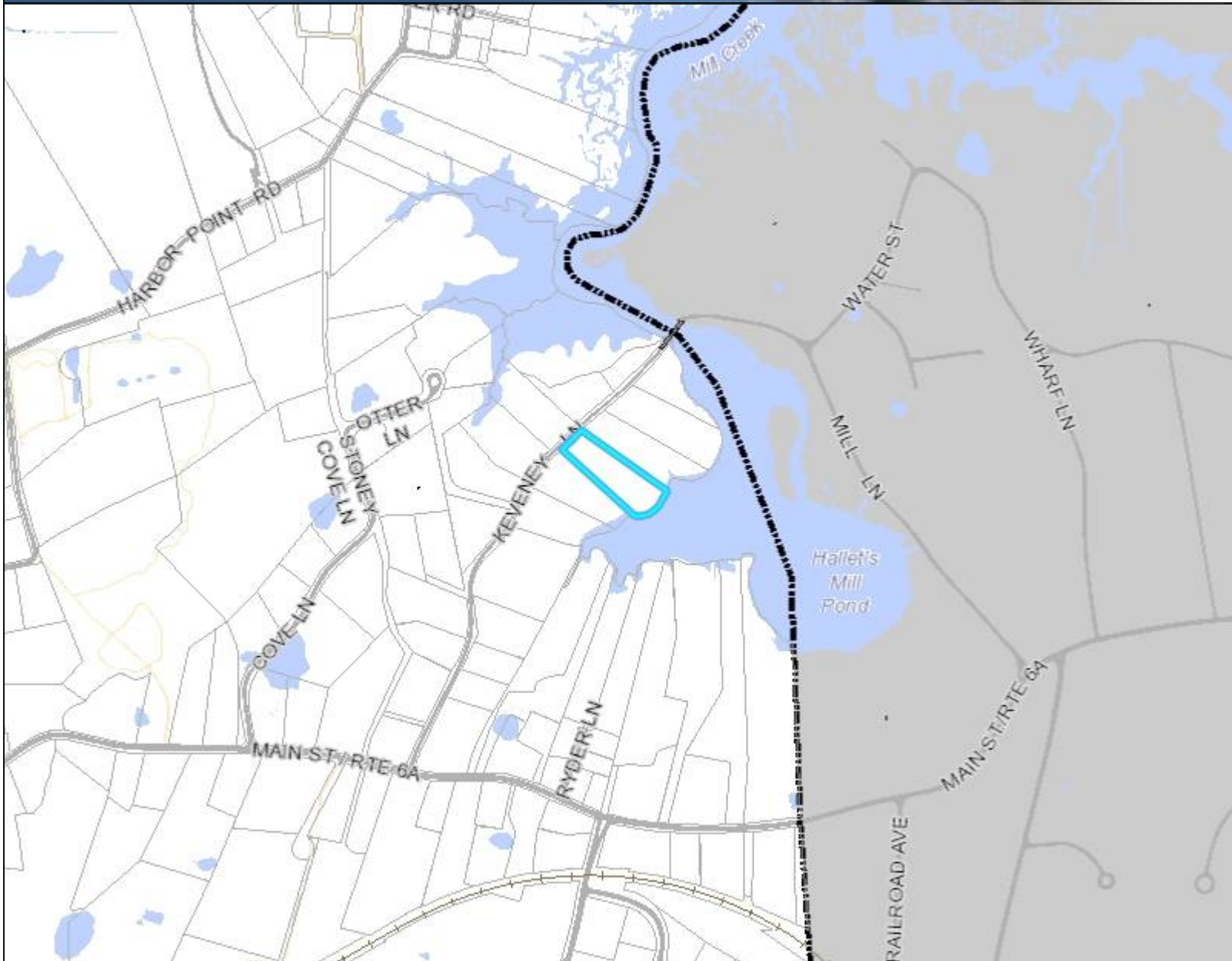
JOB: FRONT ELEVATION

DRAWING NUMBER:
C4K-2P-4S-12-SQ24

REV. 01

CSR/DC: TROY, OHIO

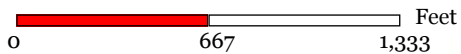
SHEET: 2 of 2



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Roads
 - Paved Road
 - Unpaved Road
 - ▨ Bridge
 - Paved Median
- Water Bodies

Map printed on: 1/6/2021



Approx. Scale: 1 inch = 667 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 1/6/2021



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

WINDOW AND PATIO DOOR SCHEDULE
ANDERSON WINDOWS AND DOORS/ 400 SERIES

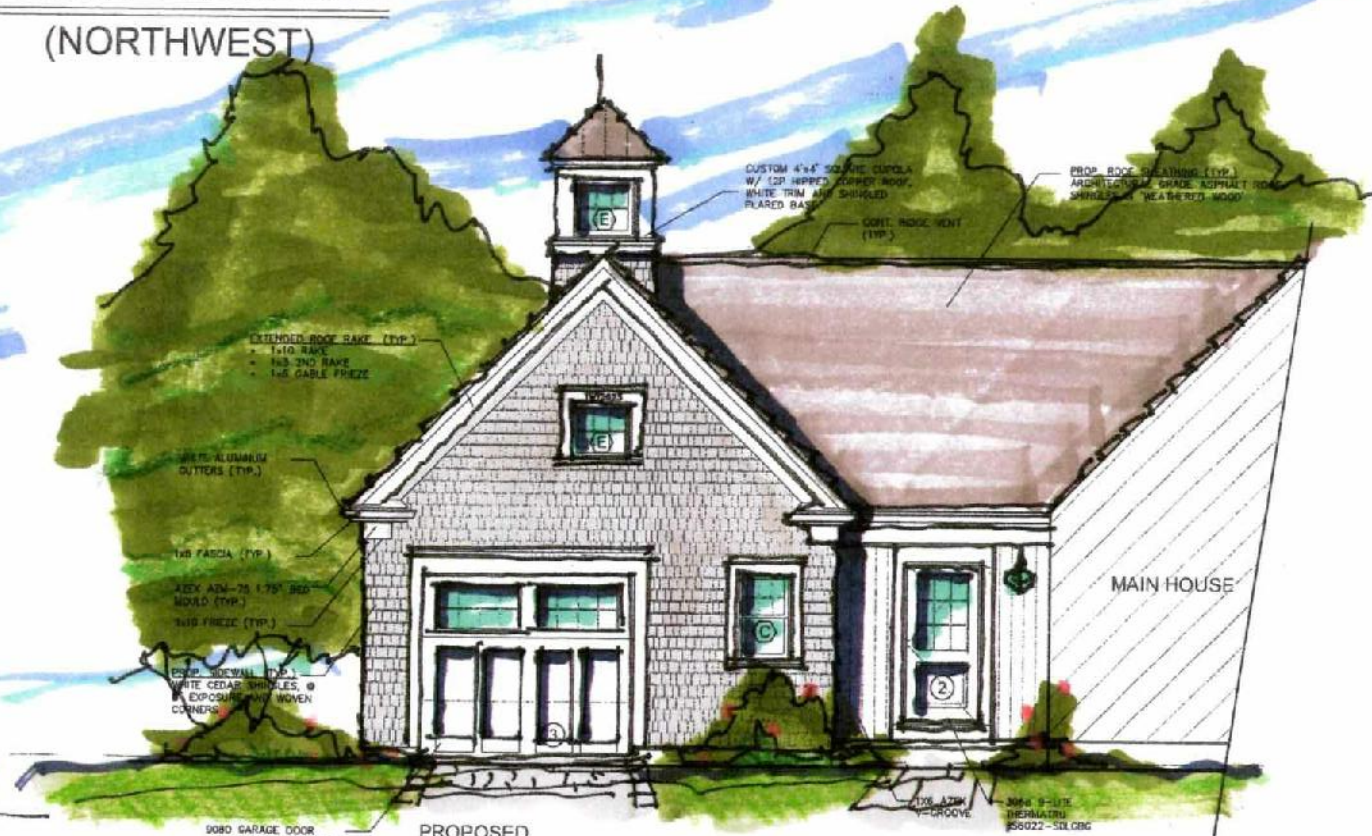
ITEM #	STYLE	UNIT	R.O. WIDTH	R.O. HEIGHT
(A)	DOUBLE HUNG	TW2946		
(B)	DOUBLE HUNG	TW2446		
(C)	DOUBLE HUNG	TW2036		
(D)	DOUBLE HUNG	TW2042		
(E)	AWNING	TWT2623		
(F)	TRIPLE AWNING	AR321		
(1)	EXTERIOR DOOR	THERMATRU		
(2)	EXTERIOR DOOR	THERMATRU		
(3)	EXTERIOR DOOR	CLOPLAY		
(4)	EXTERIOR DOOR	FWGD60611		
(5)	EXTERIOR DOOR	FWGD80611		
(6)	EXTERIOR DOOR	FGP2668		



PROPOSED
FRONT ELEVATION
(NORTHWEST)



PROPOSED
GARAGE SIDE ELEVATION
(NORTH)



PROPOSED
GARAGE FRONT ELEVATION
(WEST)

REVISIONS:

DESIGNED BY:
SEAVIEW DESIGN GROUP

Gary Ellis
141 Main Street
Yarmouthport, Ma 02675
508-362-9802

PROJECT:
KITTREDGE RESIDENCE
172 KEVENEY LANE, BARNSTABLE MA 02675

TITLE:
PROPOSED ELEVATIONS

DATE: 12/01/20

SCALE: 1/8" = 1'-0"

DRAWING #:

A-1

proposed
Landscape
Plan scale 1" = 20'

KITTREDGE RESIDENCE

172 KEVENEY LANE
BARNSTABLE, MA 02675
MAP 351/ PARCEL 63

DESIGNED BY:

SEAVIEW DESIGN GROUP
900 ROUTE 134 SUITE 3-26
SOUTH DENNIS, MA 02660



N

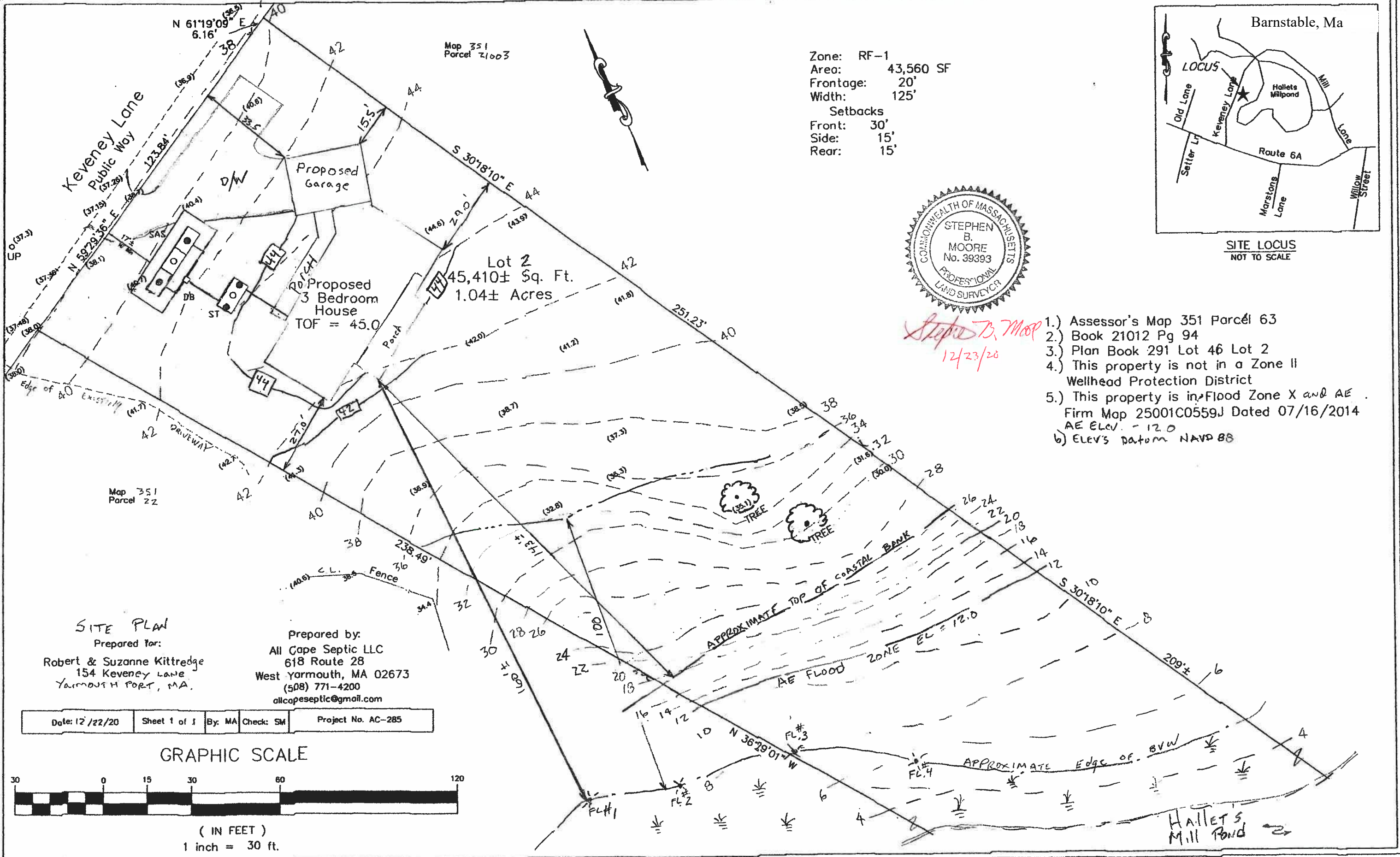


Proposed new
shed on
terrace

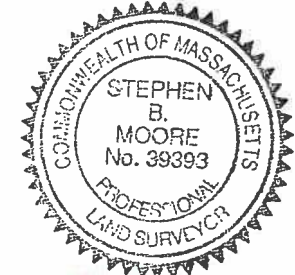
→ Keveney Lane →

dec. 15, 2020

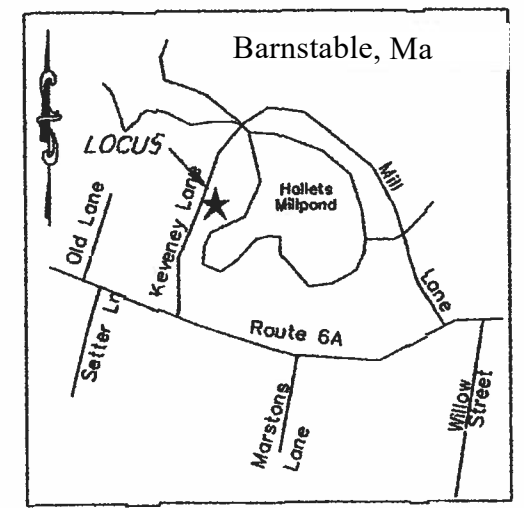
sh 15.1



Zone: RF-1
 Area: 43,560 SF
 Frontage: 20'
 Width: 125'
 Setbacks
 Front: 30'
 Side: 15'
 Rear: 15'



Stephen B. Moore
 12/23/20



- 1.) Assessor's Map 351 Parcel 63
- 2.) Book 21012 Pg 94
- 3.) Plan Book 291 Lot 46 Lot 2
- 4.) This property is not in a Zone II Wellhead Protection District
- 5.) This property is in Flood Zone X and AE Firm Map 25001C0559J Dated 07/16/2014
 AE Elev. - 12.0
 b) Elev's Datum NAVD 88

SITE PLAN

Prepared for:
 Robert & Suzanne Kittredge
 154 Keveney Lane
 Yarmouth Port, MA.

Prepared by:
 All Cape Septic LLC
 618 Route 28
 West Yarmouth, MA 02673
 (508) 771-4200
 allcapesepptic@gmail.com

Date: 12/22/20	Sheet 1 of 1	By: MA	Check: SM	Project No. AC-285
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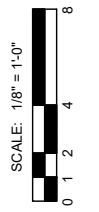
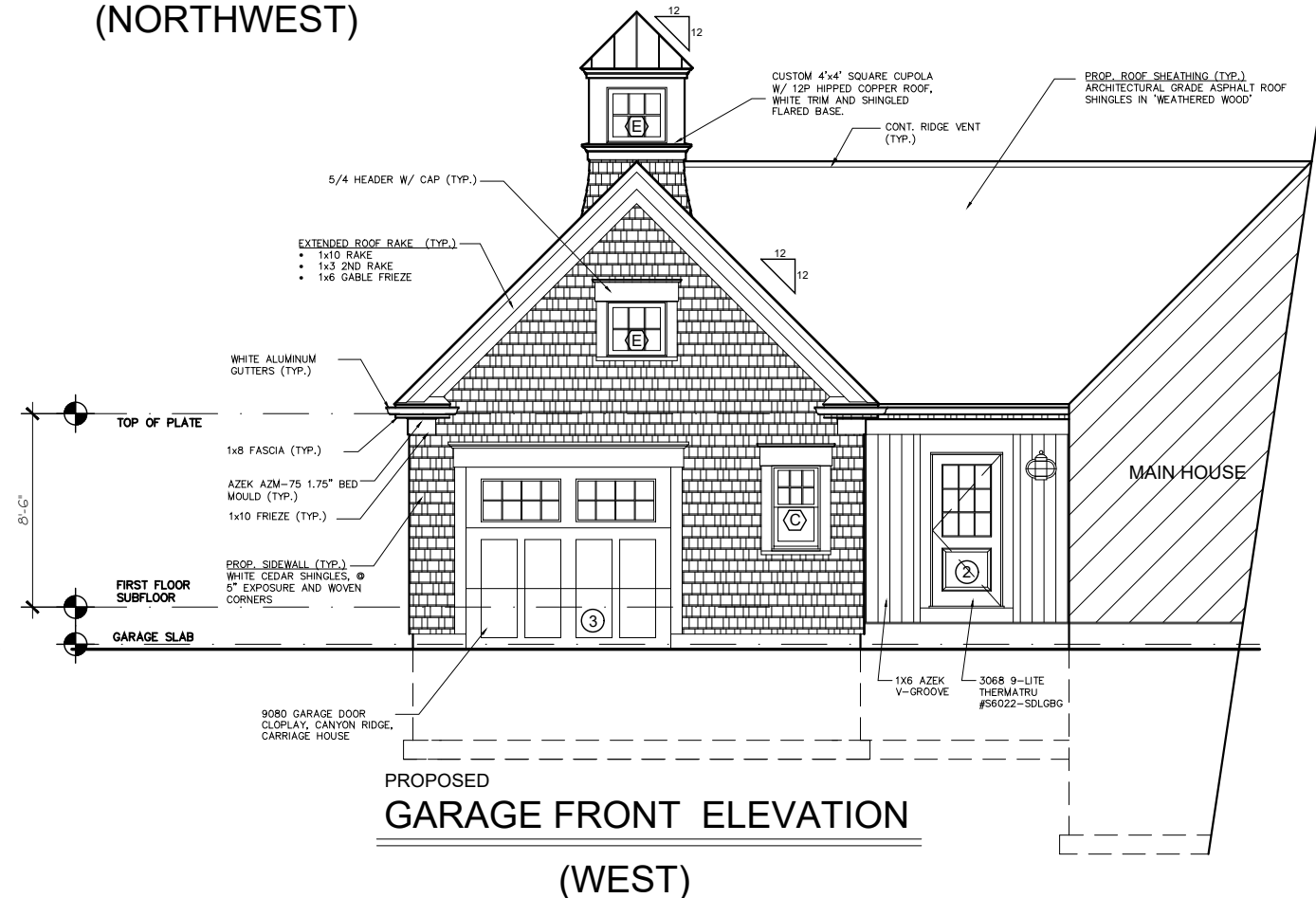
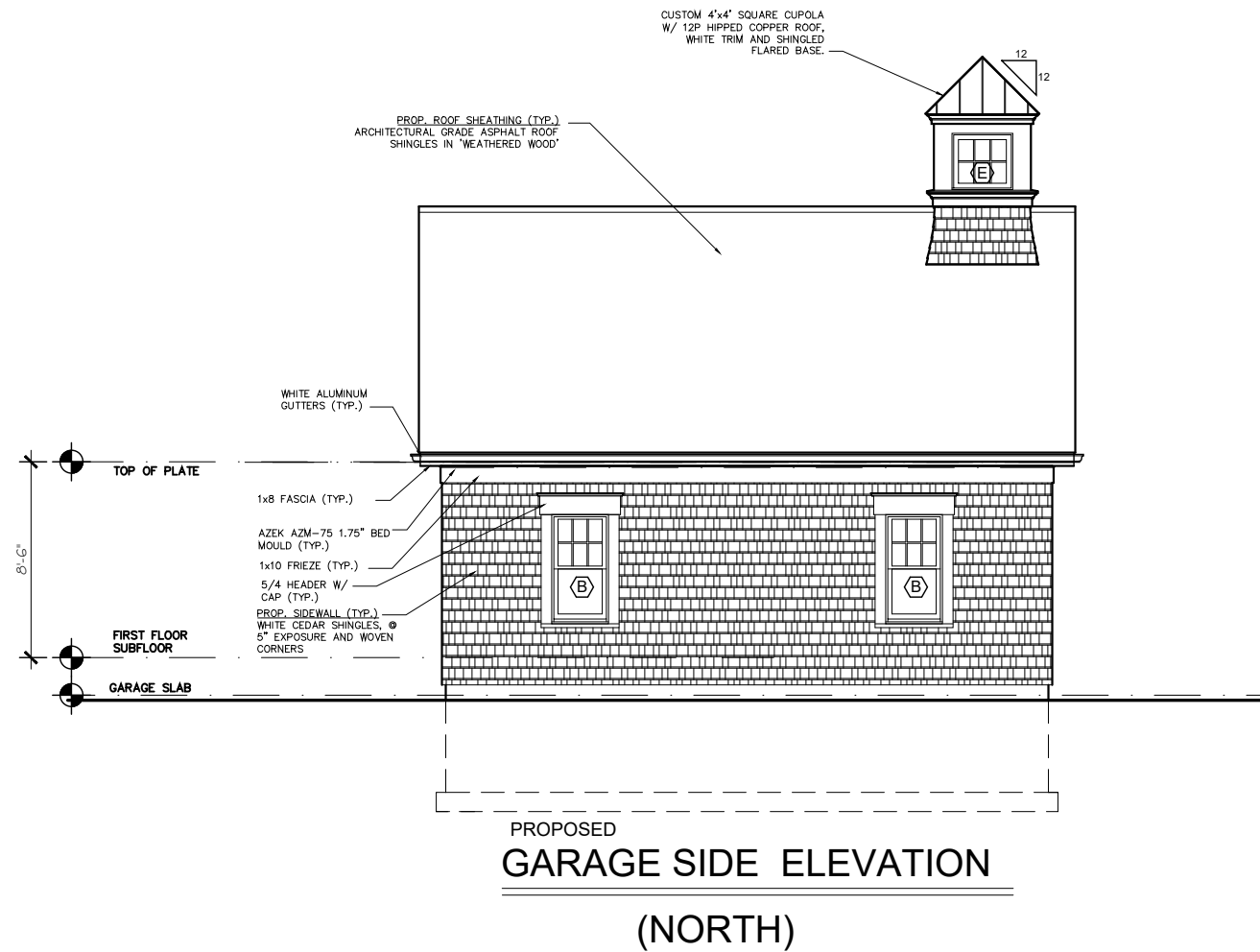
GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

WINDOW AND PATIO DOOR SCHEDULE
ANDERSON WINDOWS AND DOORS/ 400 SERIES

ITEM #	STYLE	UNIT	R.O. WIDTH	R.O. HEIGHT
(A)	DOUBLE HUNG	TW2646	2'-8 1/8"	4'-8 7/8"
(B)	DOUBLE HUNG	TW2446	2'-6 1/8"	4'-8 7/8"
(C)	DOUBLE HUNG	TW2036	2'-2 1/8"	3'-8 7/8"
(D)	DOUBLE HUNG	TW2042	2'-2 1/8"	4'-4 7/8"
(E)	AWNING	TWT2623	2'-8 1/8"	2'-5 7/8"
(F)	TRIPLE AWNING	AR321	6'-0 3/8"	1'-5 1/2"
(1)	EXTERIOR DOOR	THERMATRU	5'-6"	6'-8"
(2)	EXTERIOR DOOR	THERMATRU	3'-0"	6'-8"
(3)	EXTERIOR DOOR	CLOPLAY	9'-0"	8'-0"
(4)	EXTERIOR DOOR	FWGD60611	6'-0"	6'-11"
(5)	EXTERIOR DOOR	FWGD80611	8'-0"	6'-11"
(6)	EXTERIOR DOOR	FGP2668	2'-6"	6'-8"



DESIGNED BY:
SEAVIEW DESIGN GROUP
Elaine Bellefeuille
900 Route 134, Suite 3-26
South Dennis, Ma 02660
508-280-7031

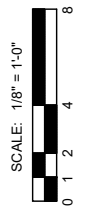
Gary Ellis
141 Main Street
Yarmouthport, Ma 02675
508-362-9802

PROJECT:
KITTREDGE RESIDENCE
172 KEVENEY LANE, BARNSTABLE, MA 02675
MAP 351/ PARCEL 63

TITLE:
PROPOSED ELEVATIONS

DATE: 12/26/20
SCALE: 1/8" = 1'-0"

DRAWING #:
A-1



DESIGNED BY:
SEAVIEW DESIGN GROUP
 Elaine Bellefeuille
 900 Route 134, Suite 3-26
 South Dennis, Ma 02660
 508-280-7031

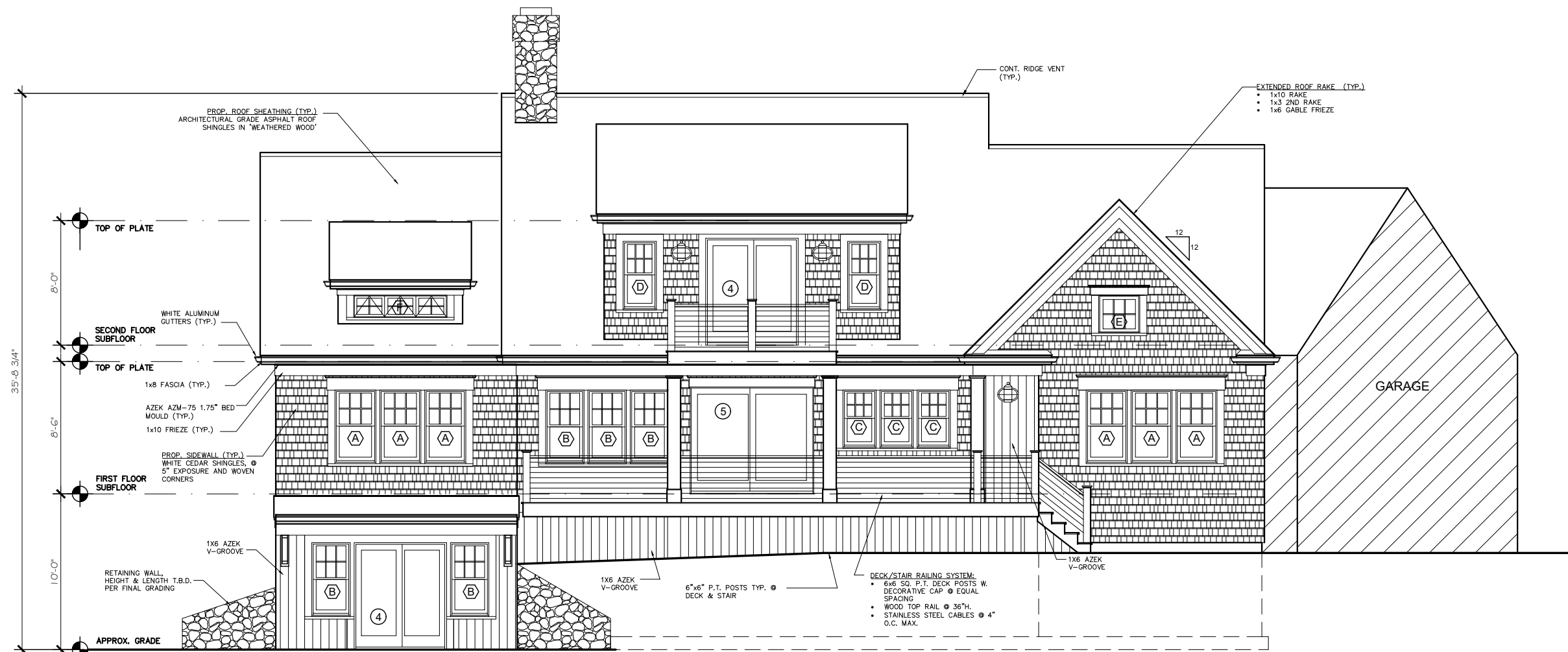
Gary Ellis
 141 Main Street
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PROJECT:
KITTREDGE RESIDENCE
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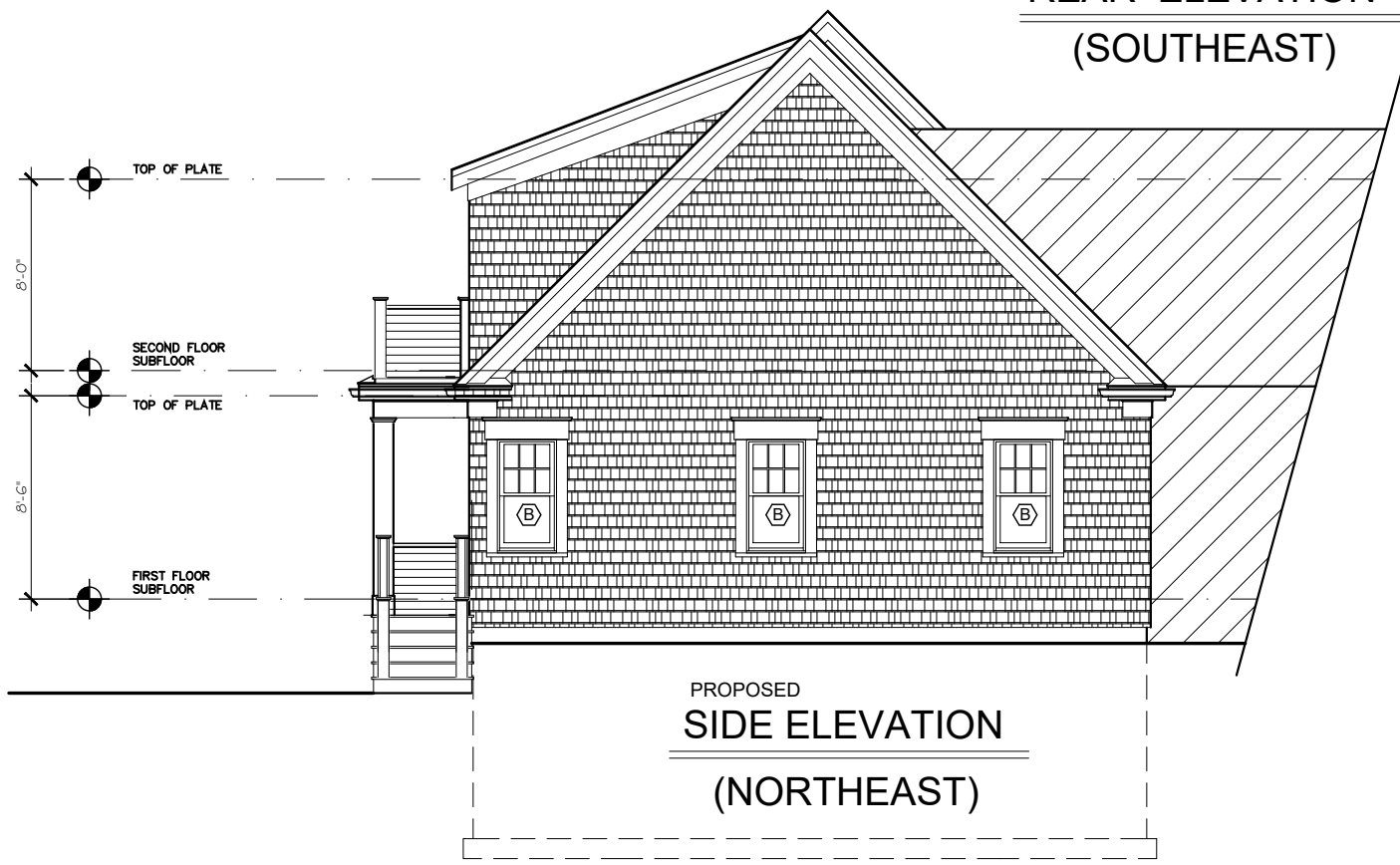
TITLE:
 PROPOSED ELEVATIONS

DATE: 12/26/20
 SCALE: 1/8" = 1'-0"
 DRAWING #:

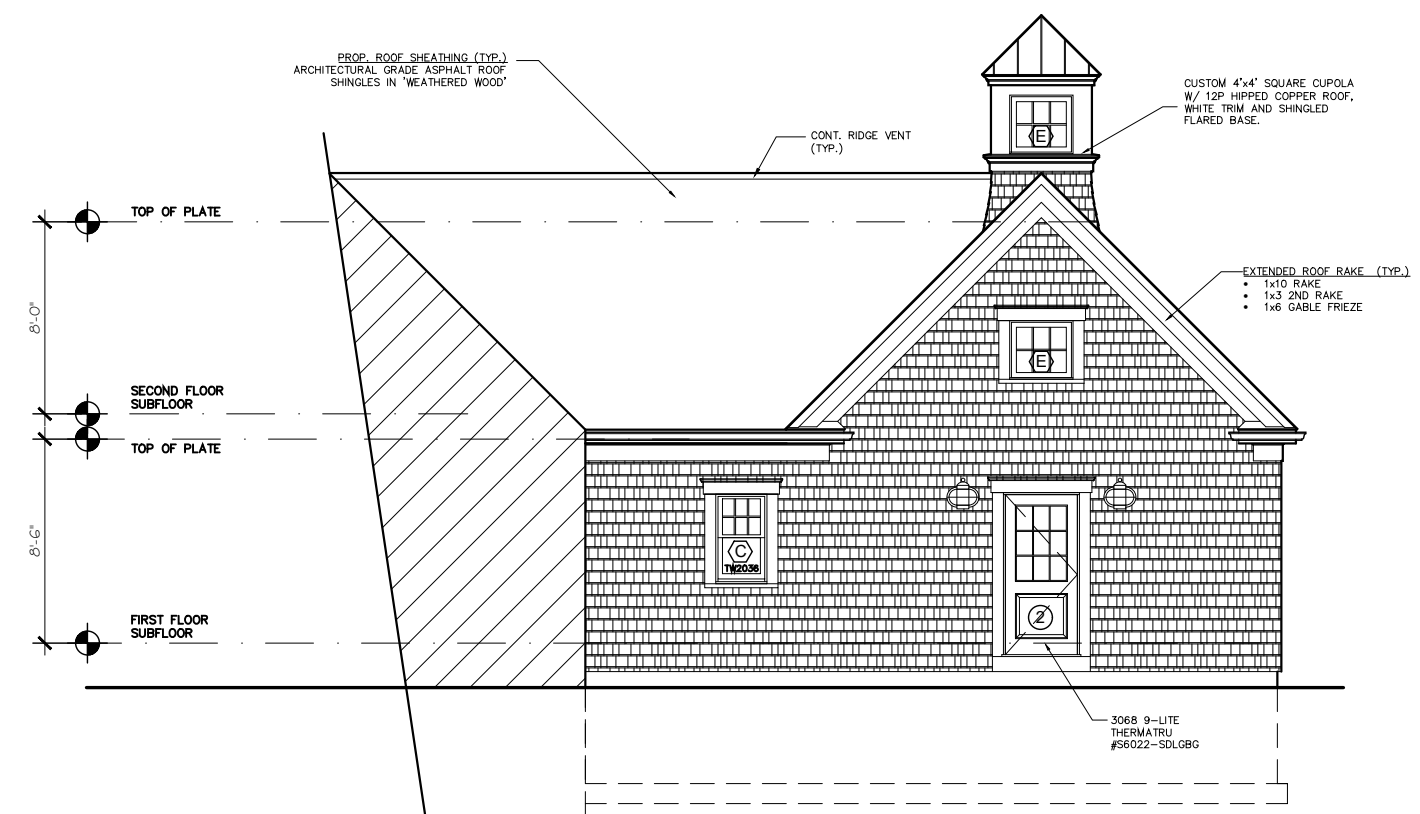
A-2



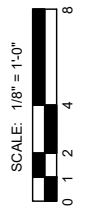
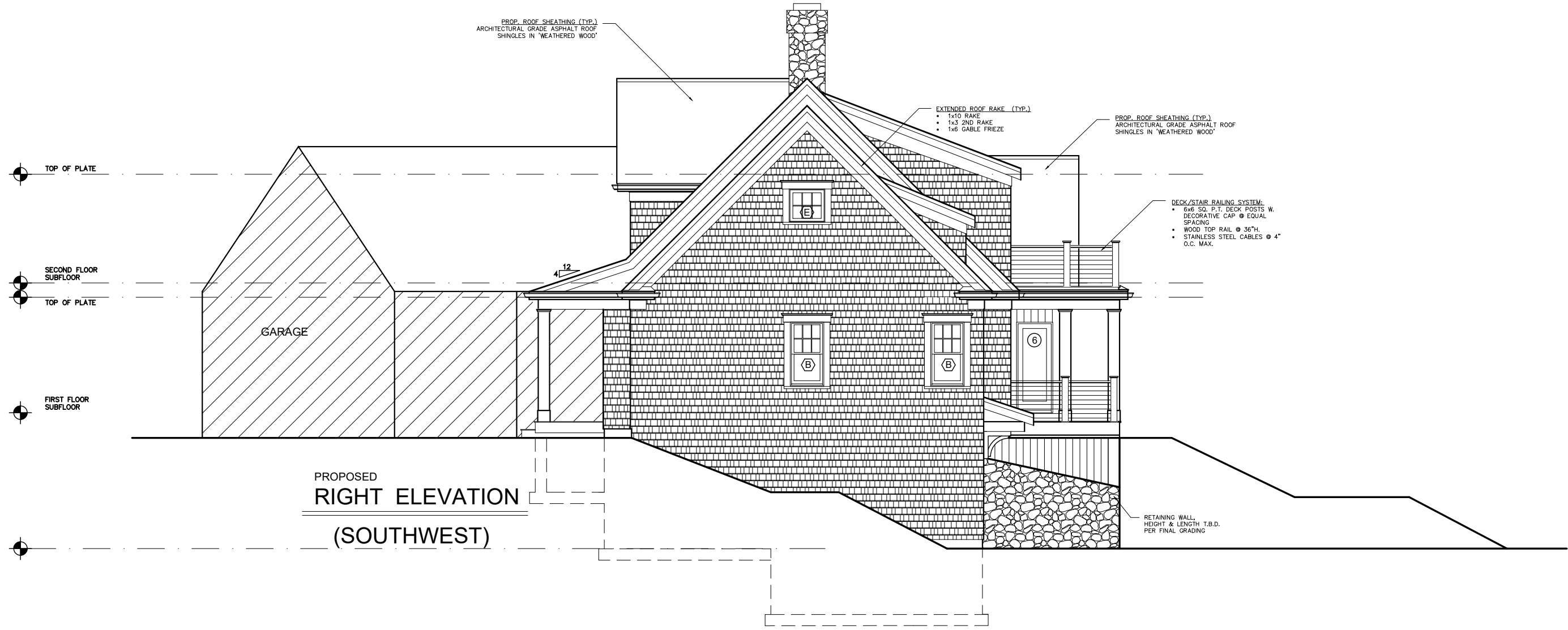
PROPOSED
REAR ELEVATION
 (SOUTHEAST)



PROPOSED
SIDE ELEVATION
 (NORTHEAST)



PROPOSED
GARAGE REAR ELEVATION
 (EAST)



DESIGNED BY:
SEAVIEW DESIGN GROUP
 Elaine Bellefeuille
 900 Route 134, Suite 3-26
 South Dennis, Ma 02660
 508-280-7031

Gary Ellis
 141 Main Street
 Yarmouthport, Ma 02675
 508-362-9802

PROJECT:
KITTREDGE RESIDENCE
172 KEVENEY LANE, BARNSTABLE, MA 02675
MAP 351/ PARCEL 63

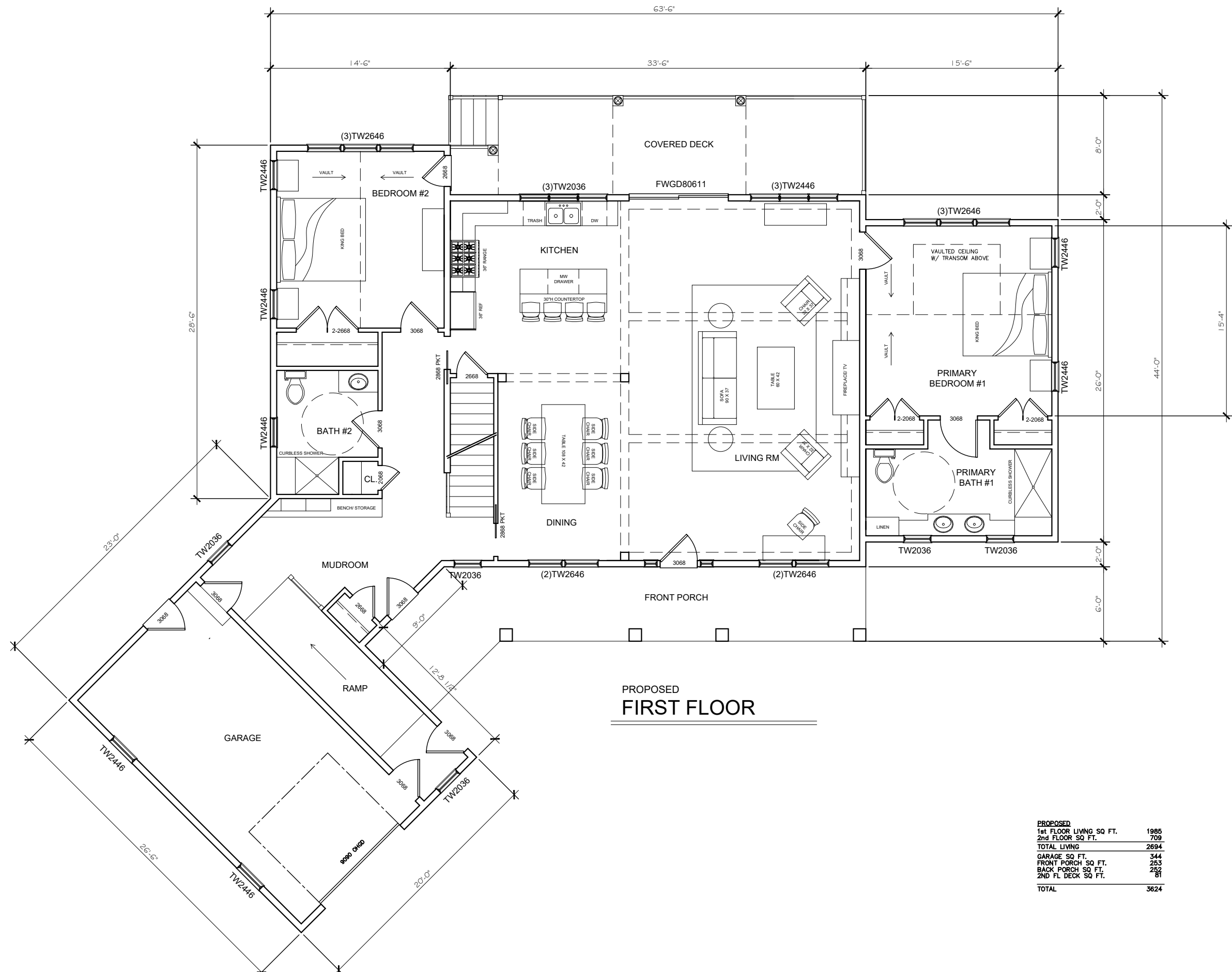
TITLE:
 PROPOSED ELEVATIONS

DATE: 12/26/20

SCALE: 1/8" = 1'-0"

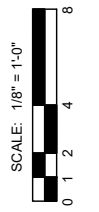
DRAWING #:

A-3



PROPOSED
FIRST FLOOR

PROPOSED	
1st FLOOR LIVING SQ. FT.	1985
2nd FLOOR SQ. FT.	709
TOTAL LIVING	2694
GARAGE SQ. FT.	344
FRONT PORCH SQ. FT.	253
BACK PORCH SQ. FT.	252
2ND FL. DECK SQ. FT.	91
TOTAL	3624



DESIGNED BY:
SEAVIEW DESIGN GROUP
 Elaine Bellefeuille
 900 Route 134, Suite 3-26
 South Dennis, Ma 02660
 508-280-7031

Gary Ellis
 141 Main Street
 Yarmouthport, Ma 02675
 508-362-9802

PROJECT:
KITTREDGE RESIDENCE
172 KEVENEY LANE, BARNSTABLE, MA 02675
MAP 351/ PARCEL 63

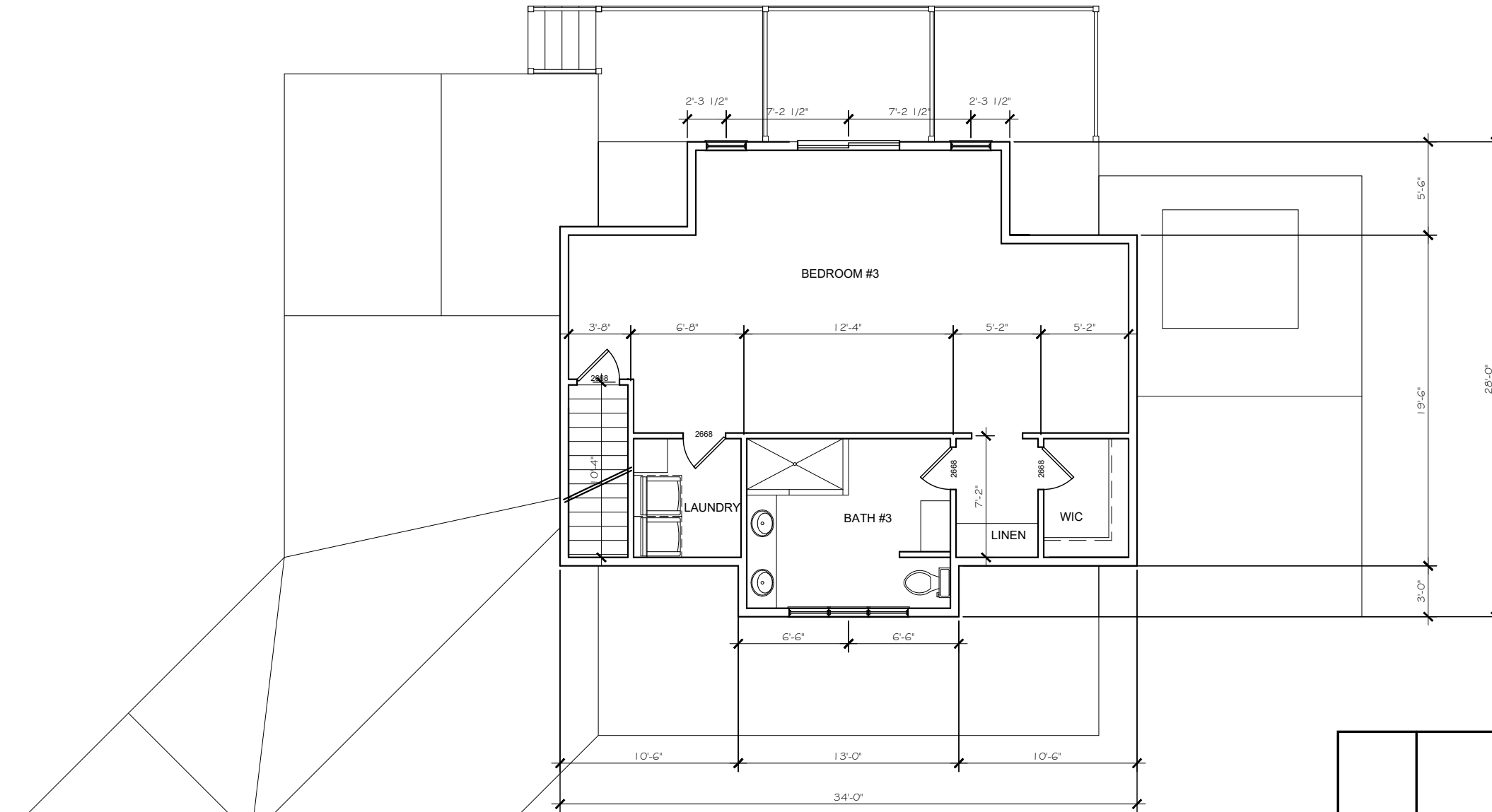
TITLE:
 PROPOSED FLOOR PLANS

DATE: 12/26/20

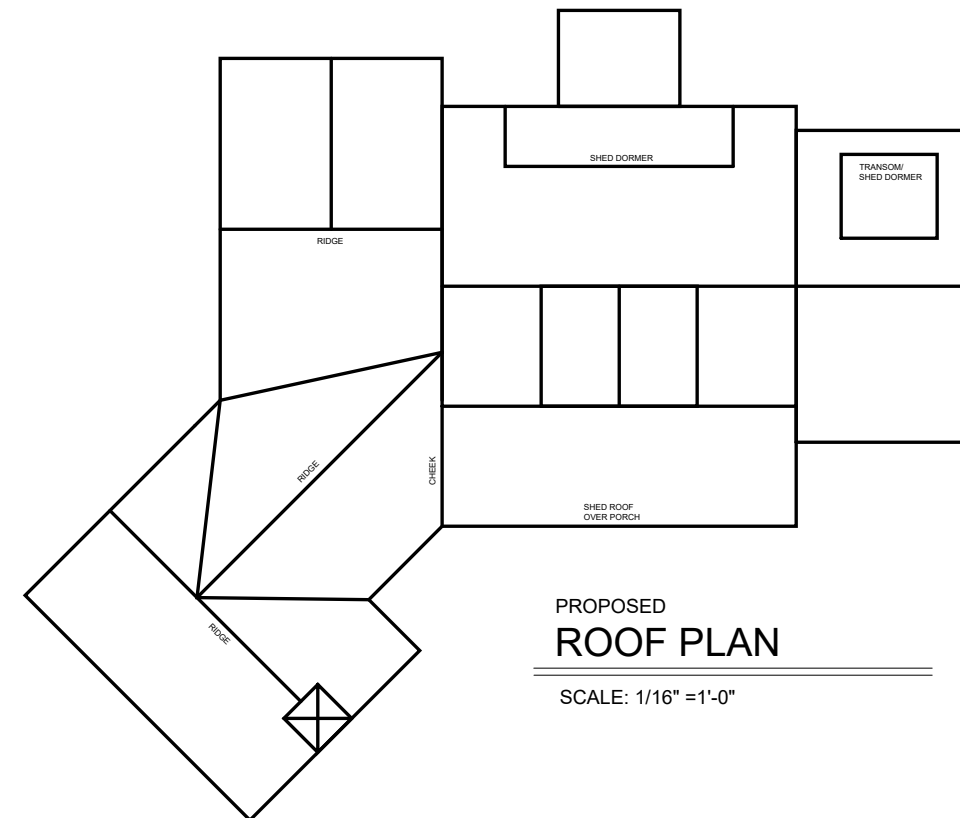
SCALE: 1/8" = 1'-0"

DRAWING #:

A-4

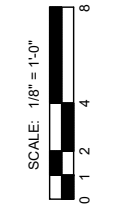


**PROPOSED
SECOND FLOOR**



**PROPOSED
ROOF PLAN**

SCALE: 1/16" = 1'-0"



PROJECT:
KITTREDGE RESIDENCE
 172 KEVENEY LANE, BARNSTABLE, MA 02675
 MAP 351/ PARCEL 63

TITLE:

PROPOSED FLOOR PLANS

DATE: 12/26/20

SCALE: 1/8" = 1'-0"

DRAWING #:

A-5

DESIGNED BY:
 SEAVIEW DESIGN GROUP

Elaine Bellefeuille
 900 Route 134, Suite 3-26
 South Dennis, Ma 02660
 508-280-7031

Gary Ellis
 141 Main Street
 Yarmouthport, Ma 02675
 508-362-9802













BARNSTABLE OLD KING'S HIGHWAY

Summary of Approved Certificates of Exemption

48 Sturgis Lane	Addition
50 Merion Way	Deck
51 Samantha Dr	Shed
58 Williams Path	convert open porch to enclosed
133 Boulder Rd	Fence
3890 Main	Deck
2085 Main	Sunroom
3010 Main	Generator
134 Country Club	Solar
2701 Main	Reduce cupola over garage
3845 Main	remove and rebuild deck
78 Meadow Ln	Shed
58 Williams Path	Pool & Fence
210 Capes Trail	pool house
1841 Phinney's	pumphouse

BARNSTABLE OLD KING'S HIGHWAY

Summary of Approved Certificates of Exemption

48 Sturgis Lane	Addition
50 Merion Way	Deck
51 Samantha Dr	Shed
58 Williams Path	convert open porch to enclosed
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