



Town of Barnstable  
Barnstable Historical Commission  
367 Main Street, Hyannis, MA 02601  
P 508.862.4787 [Web link](#)

Commission Members

Nancy Clark – Chair • Nancy Shoemaker – Vice Chair • Marilyn Fifield – Clerk  
George Jessop, AIA • Cheryl Powell • Frances Parks • Jack Kay

Administrative Assistant

Erin K. Logan, [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

**AGENDA**

**Tuesday, October 19, 2021, 3:00PM**

The Barnstable Historical Commission meeting will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled (*public comment*) to appear before the Barnstable Historical Commission may participate through accessing the link or telephone number provided below:

**Link: Join Zoom Meeting <https://zoom.us/j/99226191878>**

**Phone: 1- 888-475-4499 and entering Meeting ID: 99226191878**

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us) so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Administrative Assistant, Erin Logan, by calling 508.862.4787 or by emailing [grayce.rogers@town.barnstable.ma.us](mailto:grayce.rogers@town.barnstable.ma.us)

**NOTICE OF RECORDING**

Please note that this meeting is recorded and broadcast on Channel 18 in accordance with MGL Chapter 30A §20. I must inquire whether anyone is taping this meeting and to please make their presence known.

**ROLL CALL**

**CALL TO ORDER**

Acting under the provisions of the Code of the Town of Barnstable, §112-1 through §112-7, the Historical Commission will hold a Public Hearing on the following applications. The following Applications have been determined significant and were referred to a Public Hearing:

**CONTINUED APPLICATIONS**

**Dacey, Brian, 20 Grand Island Drive, Osterville, Map 072, Parcel 014/000, built 1920**

Full demolition of the single family structure and all out buildings

**APPLICATIONS**

**Terry L. Simpson Trustee of the Blumist Trust, 531 South Main Street, Centerville, Map 206, Parcel 069/000, built 1850**

Partial Demolition and alterations to all four elevations.

**Zola, John, 91 Route 149, Marstons Mills, Map 077, Parcel 008/000, Nathaniel Hinckley House, built 1774, Inventoried**

Partial Demolition of the windows, doors, and removal of a wall segment on the right side for attachment.

**Berkey, Scott A. & Patricia A., 759 Main Street, Cotuit, Map 036, Parcel 036/006, Capt. John Handy House/ Charles Brooks House, built 1863, Inventoried.**

Partial Demolition of a portion of the rear gable roof.

#### **OTHER**

- Update – Historical Commission Regulations Sub-Committee
- Update – Community Preservation Committee
- Historic events open to the public

#### **APPROVAL OF MINUTES**

- None

#### **MATTERS NOT REASONABLY ANTICIPATED BY CHAIR**

#### **ADJOURNMENT**

**Next Meeting Date:** November 16, 2021 & December 14, 2021

**Please Note:**

The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda.

**ORIGINAL SUBMISSION**  
**FOR THE AUGUST 17<sup>TH</sup> MEETING**



**TOWN OF BARNSTABLE**  
**Planning & Development Department**  
**Barnstable Historical Commission**  
[www.town.barnstable.ma.us/historicalcommission](http://www.town.barnstable.ma.us/historicalcommission)



**NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING**

Date of Application 7/19/12  Full Demotion  Partial Demolition

Building Address: 20 Grand Island Drive  
Number Street

Centerville 02165 Assessor's Map # 072 Assessor's Parcel # 014  
Village ZIP

Property Owner: Brian Dacey 771-1040  
Name Phone#

Property Owner Mailing Address (if different than building address) PO Box 95, Centerville MA

Property Owner e-mail address: brian@baysidebuilding.com

Contractor/Agent: Bayside Building

Contractor/Agent Mailing Address: PO Box 95, Centerville

Contractor/Agent Contact Name and Phone #: 508-771-1040 Nick Bowes  
Name Phone #

Contractor/Agent Contact e-mail address: nich@baysidebuilding.com

**Demolition Proposed - please itemize all changes:**

Demolition of all structures existing on property

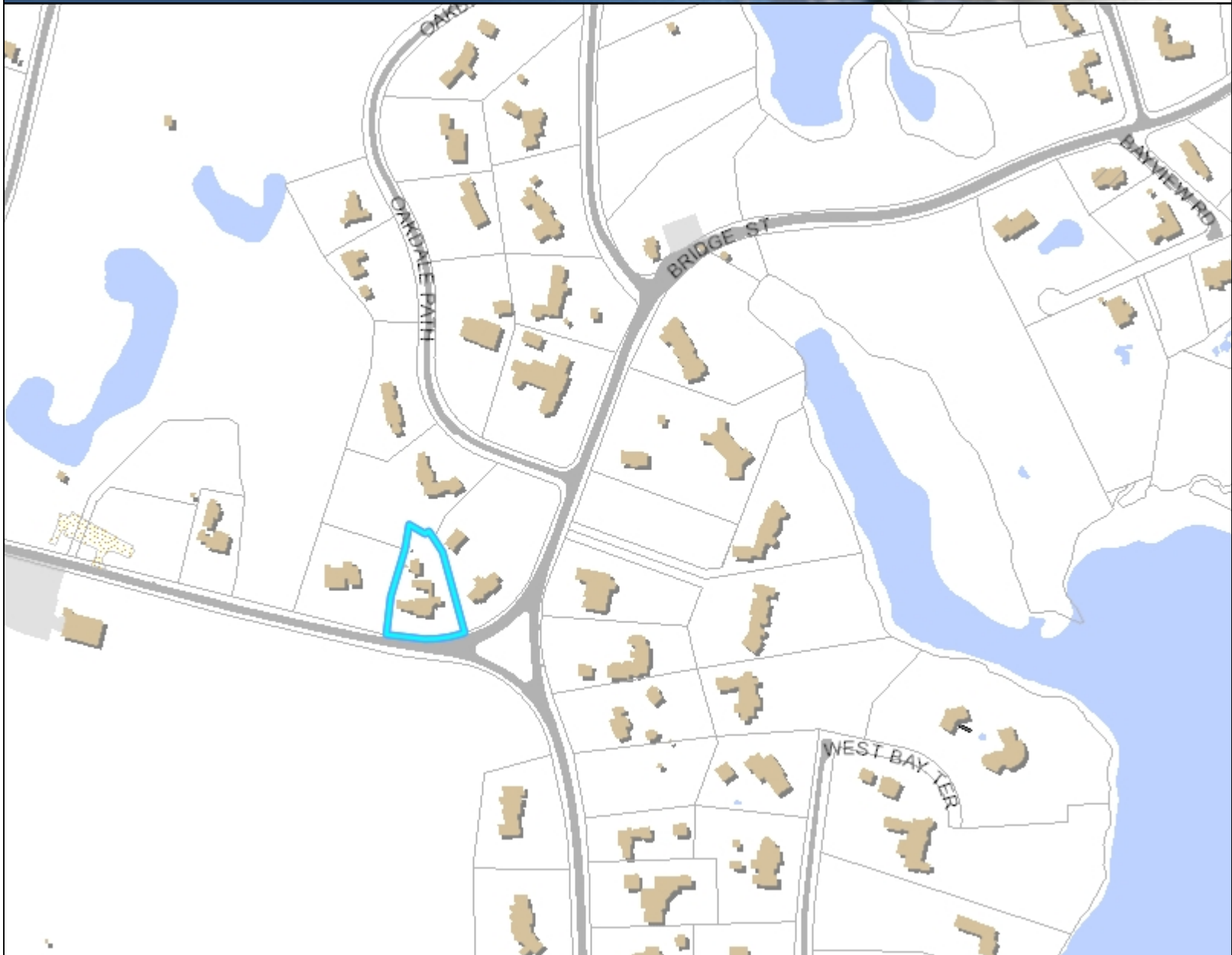
Type of New Construction Proposed: Cape Style home per attached plan

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1939 Additions Year Built: \_\_\_\_\_

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?  
 No  Yes

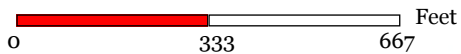
[Signature]  
 Property Owner/Agent Signature



### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - ▨ Bridge
  - Paved Median
- Water Bodies

Map printed on: 3/25/2021



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

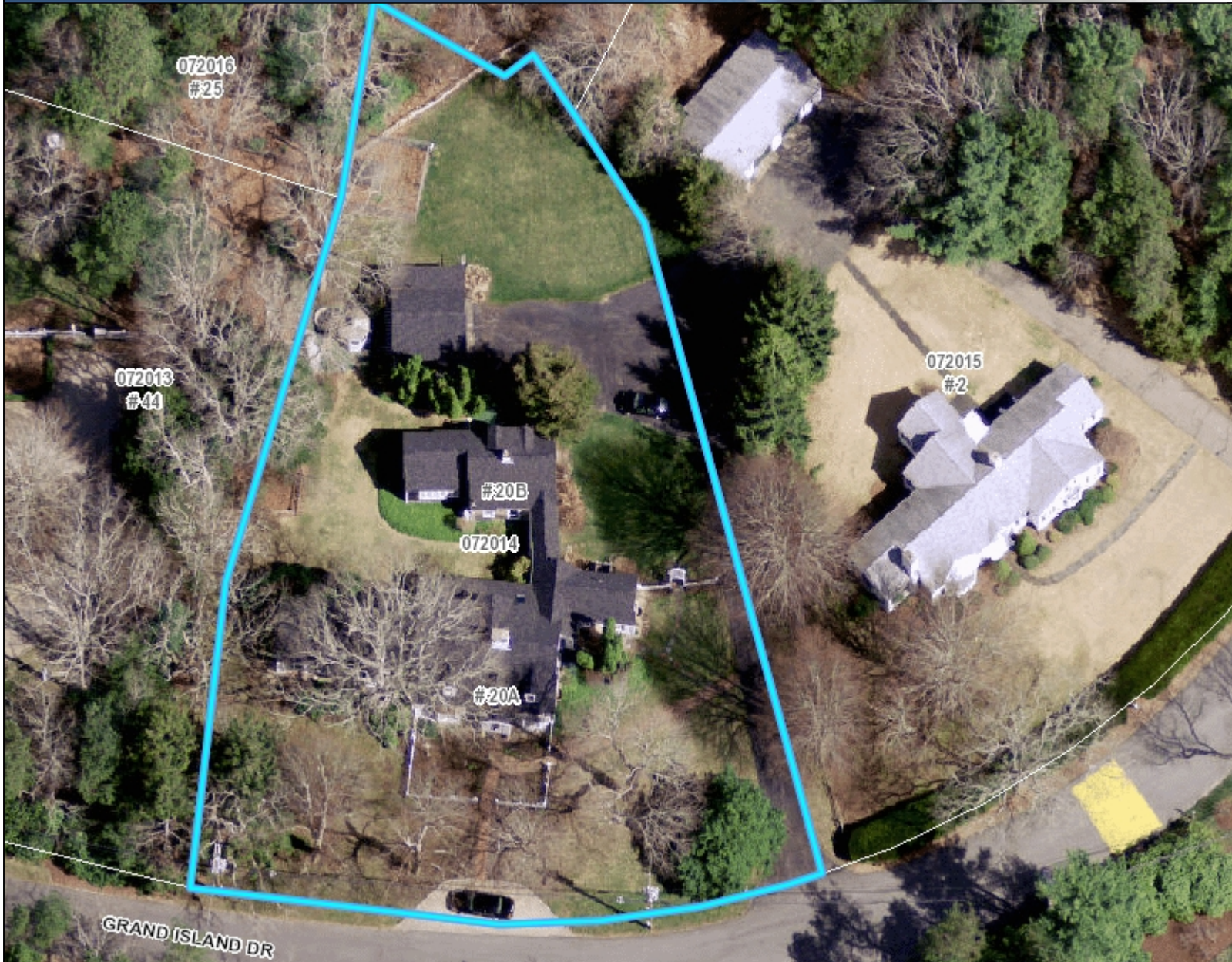
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

## Legend

Road Names



Map printed on: 3/25/2021



Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 072-014

Location: 20 GRAND ISLAND DRIVE, Osterville

Owner: DACEY, BRIAN T TR



Parcel  
072-014

Location  
20 GRAND ISLAND DRIVE

Village  
Osterville

Town sewer account  
No

CWMP Sewer Expansion (subject to change with final engineering design)  
None planned at this time

Developer lot:  
LOTS 87, 88 & 89

Road type  
Private

Fire district  
C-O-MM

Secondary road

Road index  
0646

Interactive map



Asbuilt septic scan  
[072014\\_1](#)

Owner: DACEY, BRIAN T TR

Owner  
DACEY, BRIAN T TR

Co-Owner  
20 GRAND ISLAND DRIVE REALTY TRUST

Book page  
C224516/0

Street1  
PO BOX 95

Street2

City  
CENTERVILLE

State  
MA

Zip  
02632

Country

Land

Acres: 0.74    Use: Multi Hses M-01    Zoning: RF-1    Neighborhood: 0117

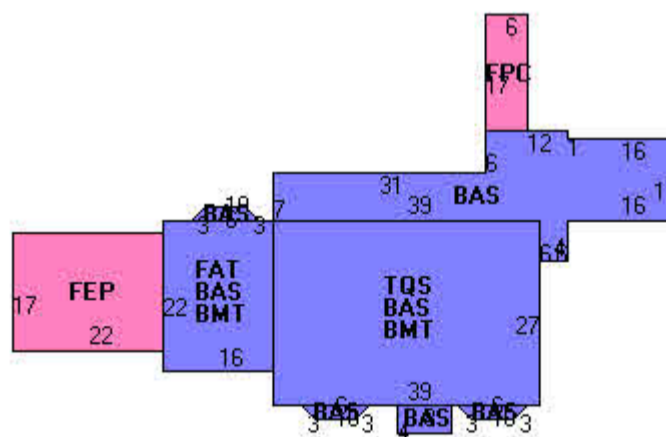
Topography: Level    Street factor: Paved    Town Zone of Contribution: AP (Aquifer Protection Overlay District)

Utilities: Public Water,Septic    Location factor    State Zone of Contribution: OUT

Construction

Building 1 of 2

Year built 1939	Roof structure Gable/Hip	Heat type Hot Water
Living area 2811	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 5360	Exterior wall Wood Shingle	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 6 Bedrooms
Model Residential	Interior floor Hardwood, Pine/Soft Wood	Bath rooms 4 Full-0 Half
Grade Average Plus	Foundation	Total rooms 10 Rooms
Stories 1.75		



Building 2 of 2

Year built 1939	Roof structure Gable/Hip	Heat type Hot Water
Living area 822	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 1230	Exterior wall Wood Shingle	AC type None
Style Cape Cod	Interior wall Drywall, Wall Brd/Wood	Bedrooms 2 Bedrooms
Model Residential	Interior floor Vinyl/Asphalt	Bath rooms 1 Full-0 Half
Grade Average	Foundation	Total rooms 4 Rooms
Stories 1.15		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
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Issue Date	Purpose	Permit Number	Amount	Inspection Date	Comments
10/02/2017	Insulation	17-3314	\$4,700		Weatherization

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	11/23/2020	DACEY, BRIAN T TR	C224516/0	\$1,370,000
2	07/11/2018	DELOREY, BRIAN & DENISE	D1369122/0	\$0
3	06/23/2010	DELOREY, WALTER & BRIAN & DENISE	C191757/0	\$945,000
4	06/15/1991	SULLIVAN, ANNE M TR	C123745/0	\$1
5	01/16/1981	FALVEY, ANNE M	C84313/0	\$0

▼ Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$374,800	\$54,200	\$13,500	\$1,012,200	\$1,454,700
2	2020	\$337,100	\$47,100	\$12,600	\$1,012,200	\$1,409,000
3	2019	\$292,200	\$47,100	\$13,600	\$925,500	\$1,278,400
4	2018	\$242,700	\$47,100	\$14,100	\$974,200	\$1,278,100
5	2017	\$227,000	\$47,500	\$14,100	\$974,200	\$1,262,800
6	2016	\$223,600	\$46,900	\$4,300	\$948,000	\$1,222,800
7	2015	\$197,100	\$35,900	\$4,400	\$964,600	\$1,202,000
8	2014	\$197,100	\$35,900	\$4,600	\$964,600	\$1,202,200
9	2013	\$197,100	\$35,900	\$4,800	\$1,037,000	\$1,274,800
10	2012	\$193,800	\$34,000	\$4,500	\$699,400	\$931,700
11	2011	\$206,600	\$9,400	\$4,600	\$699,400	\$920,000
12	2010	\$314,600	\$12,300	\$5,300	\$1,205,800	\$1,538,000
13	2009	\$350,800	\$8,600	\$4,000	\$958,800	\$1,322,200
14	2008	\$360,400	\$8,600	\$4,000	\$999,300	\$1,372,300
16	2007	\$408,100	\$8,600	\$4,000	\$999,300	\$1,420,000
17	2006	\$402,100	\$8,600	\$4,200	\$985,200	\$1,400,100
18	2005	\$371,500	\$8,600	\$4,500	\$1,041,200	\$1,425,800
19	2004	\$288,100	\$8,600	\$4,600	\$1,041,200	\$1,342,500
20	2003	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
21	2002	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
22	2001	\$254,600	\$9,000	\$4,800	\$416,700	\$685,100
23	2000	\$223,500	\$7,000	\$4,900	\$331,800	\$567,200
24	1999	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
25	1998	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
26	1997	\$179,700	\$0	\$0	\$331,800	\$514,100
27	1996	\$179,700	\$0	\$0	\$331,800	\$514,100
28	1995	\$179,700	\$0	\$0	\$331,800	\$514,100
29	1994	\$172,900	\$0	\$0	\$353,600	\$529,400
30	1993	\$172,900	\$0	\$0	\$353,600	\$529,400
31	1992	\$196,800	\$0	\$0	\$392,900	\$593,000
32	1991	\$247,800	\$0	\$0	\$429,600	\$684,200
33	1990	\$247,800	\$0	\$0	\$429,600	\$684,200
34	1989	\$247,800	\$0	\$0	\$429,600	\$684,200
35	1988	\$262,000	\$0	\$0	\$240,400	\$508,900



## Historical Commission Abutter List for Subject Parcel 072014

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
071004001	OYSTER HARBORS CLUB INC		1 GRAND ISLAND RD		OYSTER HARBORS	MA	02655
071008	BILEZIKIAN, JEFFREY D & NANCY J		29 ADAMS AVENUE		WATERTOWN	MA	02472
071011001	CONDRON, DEVIN C & ERIN T		66 EDMUNDS ROAD		WELLESLEY	MA	02481
072013	CURREY, ROBERT M & PATRICIA F TRS	FAIRVIEW REALTY TRUST	113 HAWKSBILL WAY		JUPITER	FL	33458
072014	DACEY, BRIAN T TR	20 GRAND ISLAND DRIVE REALTY TRUST	PO BOX 95		CENTERVILLE	MA	02632
072015	CASEY, THOMAS C & MARTHA		17 SHEFFIELD W		WINCHESTER	MA	01890-3526
072016	B & B CRAIG LLC		219 ECHO DRIVE		JUPITER	FL	33458
072017	IGLEHEART, FAITH TR	43 OAKDALE PATH REALTY TRUST	1210 HARBOR COURT		HOLLYWOOD	FL	33019
072020001	HASEOTES, BYRON G JR, TRS	MARINO, MICHAEL S, TRS	48 OYSTER WAY IRREV TRUST	55 PINE ST, 5TH FLOOR	PROVIDENCE	RI	02903
072020002	DRURY, CHRISTOPHER & RORY		145 PARSONAGE ROAD		GREENWICH	CT	06830
072042	STEINKRAUSS, KURT R TR	115 SHORE DRIVE WEST REALTY TRUST	ONE FINANCIAL CENTER		BOSTON	MA	02111
072043	CTS FIDUCIARY LLC TR	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTH PORT	MA	02675
072044	GENERAZIO, FRANK W JR & PATRICIA A		18526 SE VILLAGE CIR		TEQUESTA	FL	33469-1724

Sal #	Year	Building	XF Value	OB Value	LS	Total Paid
36	1987	\$262,000	\$0	\$0	\$240,400	\$508,900
37	1986	\$262,000	\$0	\$0	\$240,400	\$508,900

Photos











































**DIRECTIONS:**

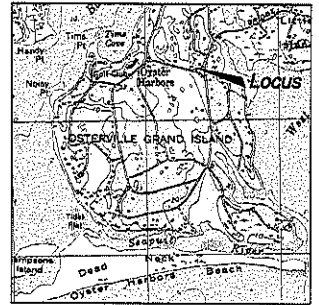
From Hyannis - Take Route 2B into Osterville; At the lights by White Hen Pantry take a left onto Osterville West Barnstable Road and follow to the end; Take a left onto Main Street; Take a right onto Parker Road; At the stop sign take a right onto West Bay Road; Bear left onto Bridge Street, and follow to the Gate House; Continue Straight and stay Left onto Oyster Way and Turn Right onto Grand Island Drive #20 is on the right.

**ZONE:**

RF-1  
 Area (min.) 87,120 SF (RPOD)  
 Frontage (min) 20'  
 Width (min) 125'  
 Setbacks:  
 Front 30'  
 Side 15'  
 Rear 15'

**FLOOD ZONE:**

Zone X (Min Flood Hazard)  
 Community Panel No.  
 #250001 C0756 J  
 July 16, 2014



**LOCATION MAP:**  
 Scale: 1" = 2000'

**ASSESSORS REF.:**

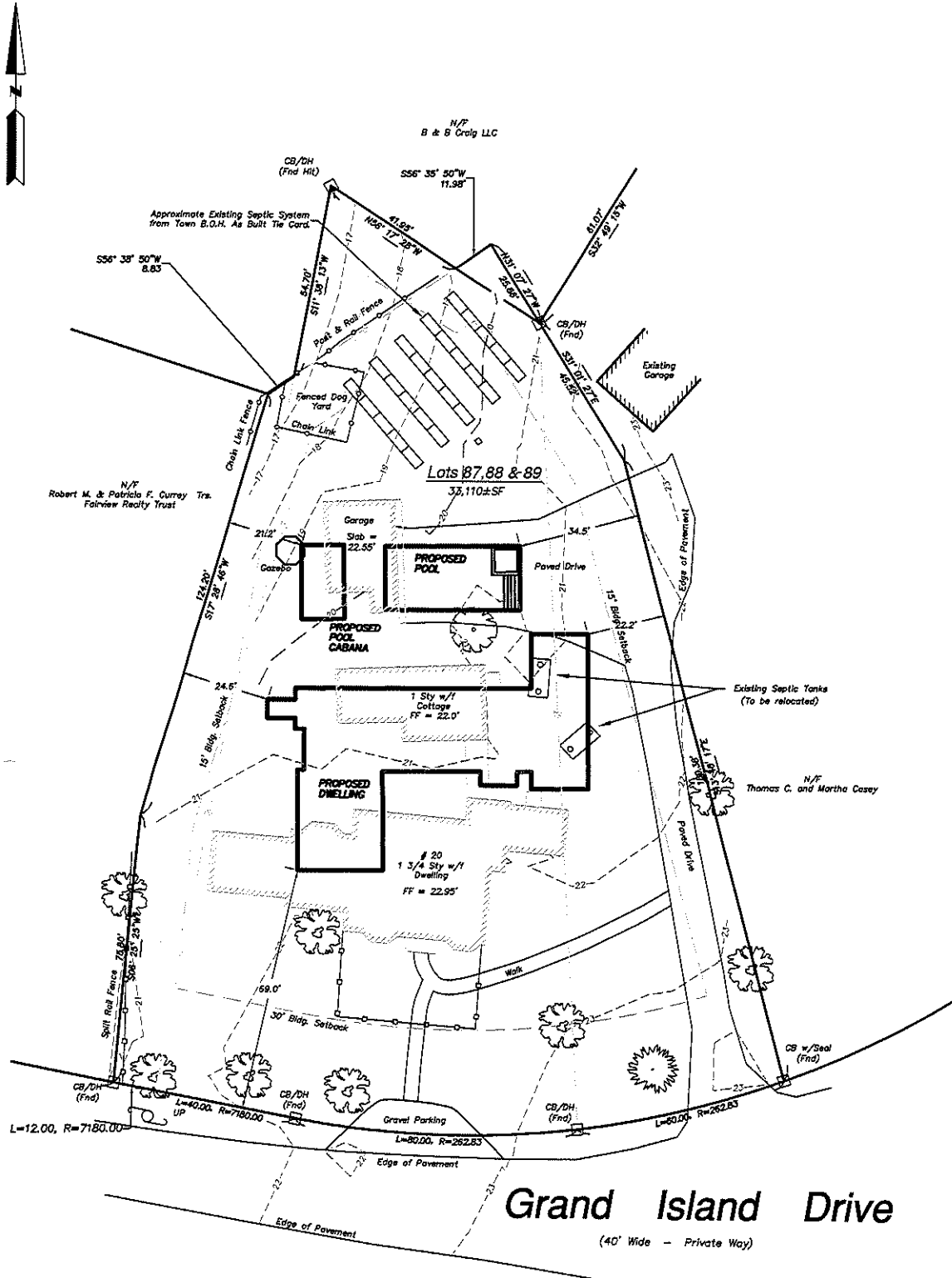
Map 072 Parcel 014

**OVERLAY DISTRICT:**

AP - Aquifer Protection District  
 Resource Protection Overlay District

**REFERENCES:**

Deed: C244516  
 Plans: LCP 15304-91  
 Plan Bk. 18B Pg. 45



**LEGEND:**

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Wetland Flag
- ☆ Light Post
- CB/DH
- OHW Overhead Wires
- 25 Elevation Contour

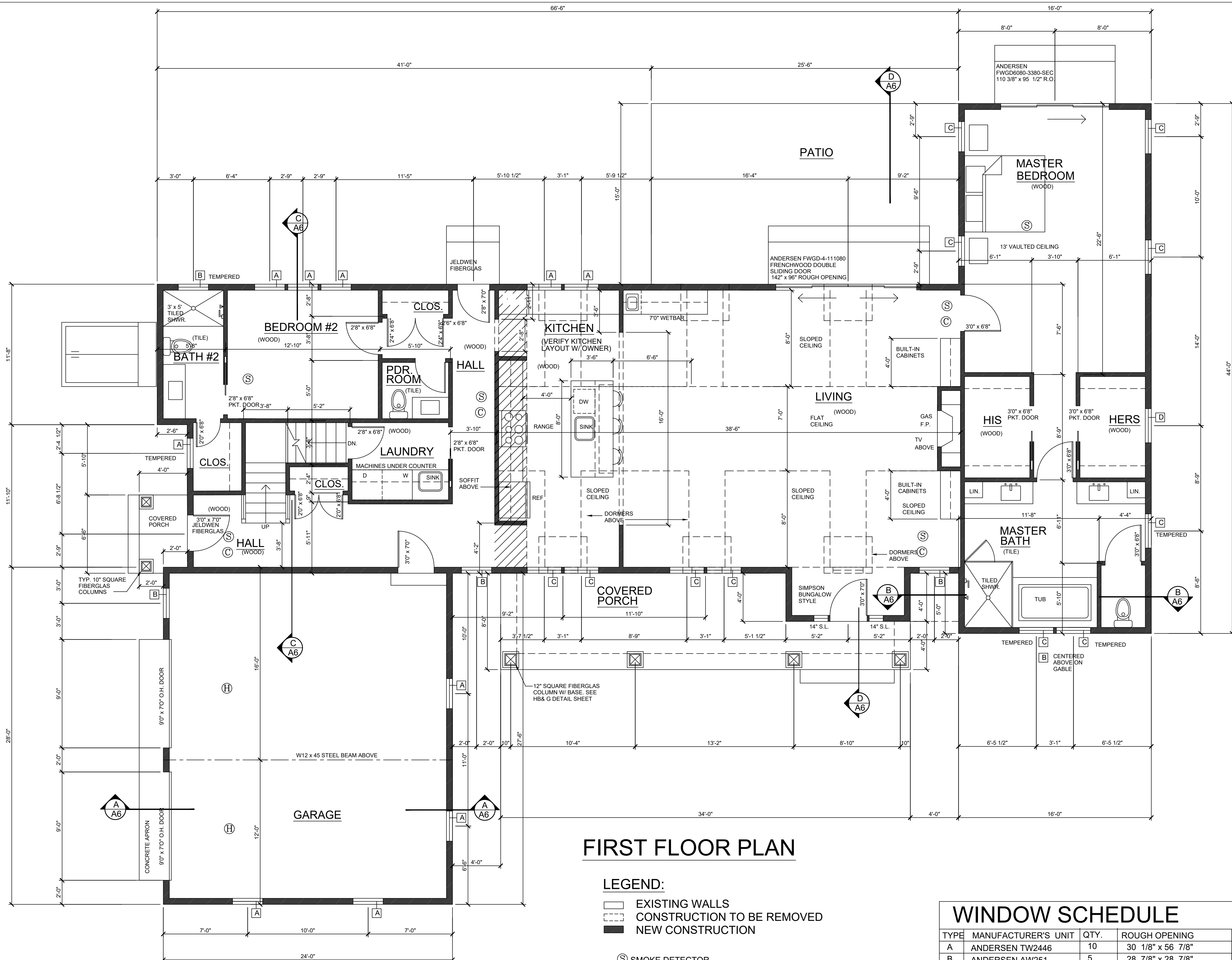
**DRAFT**

**TITLE:**  
 Site Plan  
 Proposed Improvements  
 At  
 20 Grand Island Drive  
 Barnstable (Oyster Harbors) Mass.  
**DATE:** March 23, 2021 **SCALE:** 1" = 20'

**PREPARED BY:**  
**Sullivan Engineering & Consulting, Inc.**  
 (508) 428-3344 • P.O. Box 659 • 711 Main Street, Osterville, MA 02655  
 seci@sullivanengn.com • www.sullivanengn.com  
**Draft:** ASL/CTR **Field:** WHK/CTR/JOD  
**Review:** CTR/JOD **Comp./Review:** CTR/JOD/ASL  
**Project:** Dacey **Project#:** 1998101

**PREPARED FOR:**  
 Bayside Building, Inc.

**NOTES:**  
 1) The property line information shown was compiled from available record information.  
 2) The topographic information was obtained from an on the ground survey performed on 3/17/2021 using GPS RTK.  
 3) The structures were located by an on the ground survey 3/16/2021.  
 4) The datum used is NAVD '88, a fixed mean sea level datum.



### FIRST FLOOR PLAN

- LEGEND:**
- EXISTING WALLS
  - CONSTRUCTION TO BE REMOVED
  - NEW CONSTRUCTION
  - S SMOKE DETECTOR
  - C CARBON MONOXIDE DETECTOR
  - H HEAT DETECTOR

### AREA CALCULATIONS

FIRST FLOOR	2201 S.F.
SECOND FLOOR	1017 S.F.
GARAGE	661 S.F.
COVERED PORCH	277 S.F.

### WINDOW SCHEDULE

TYPE	MANUFACTURER'S UNIT	QTY.	ROUGH OPENING	REMARKS
A	ANDERSEN TW2446	10	30 1/8" x 56 7/8"	DOUBLEHUNG
B	ANDERSEN AW251	5	28 7/8" x 28 7/8"	AWNING
C	ANDERSEN TW2852	11	34 1/8" x 64 7/8"	D.H. COTTAGE
D	ANDERSEN TWT2823	1	34 1/8" x 29 7/8"	DOUBLEHUNG TRANSOM
E	ANDERSEN TW2442	7	30 1/8" x 52 7/8"	DOUBLEHUNG
F	ANDERSEN TW24310	6	30 1/8" x 48 7/8"	DOUBLEHUNG
G	ANDERSEN CW13	8	28 7/8" x 36 1/2"	CASEMENT (FRACTIONAL GRILLE)

**IECC2018 RESIDENTIAL ENERGY EFFICIENCY DETAILS**  
 CLIMATE ZONE 5 (USE EITHER PRESCRIPTIVE VALUES OR RESCHECK CALCULATION)  
 TABLE 402.1.2 (MINIMUM PRESCRIPTIVE INSULATION & FENESTRATION REQUIREMENTS)

FENESTRATION	SKYLIGHT	CEILING	WOOD FRAMED WALL	FLOOR	BASEMENT WALL	BASEMENT SLAB	CRAWL SPACE WALL		
U-FACTOR	U-FACTOR	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE		
0.30	MASS	MIN/MD	0.55	49	20 or 13 + 5	30	15/19	10 (4 FT. DEEP)	15/19

**NOTES:**  
 1. R-VALUES ARE MINIMUMS & U-FACTORS ARE MAXIMUMS.  
 2. 15/19 MEANS R=15 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R=19 INSULATION CAVITY AT THE INTERIOR OF THE BASEMENT WALL.  
 3. REFER TO IECC 2018 CHAPTER 4 FOR ALL INSULATION & ENERGY REQUIREMENTS.  
 4. 13 + 5 MEANS R5 CONTINUOUS INSULATED SHEATHING ON THE WALL EXTERIOR & R13 CAVITY INSULATION.

**COTUIT BAY DESIGN, LLC**  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166

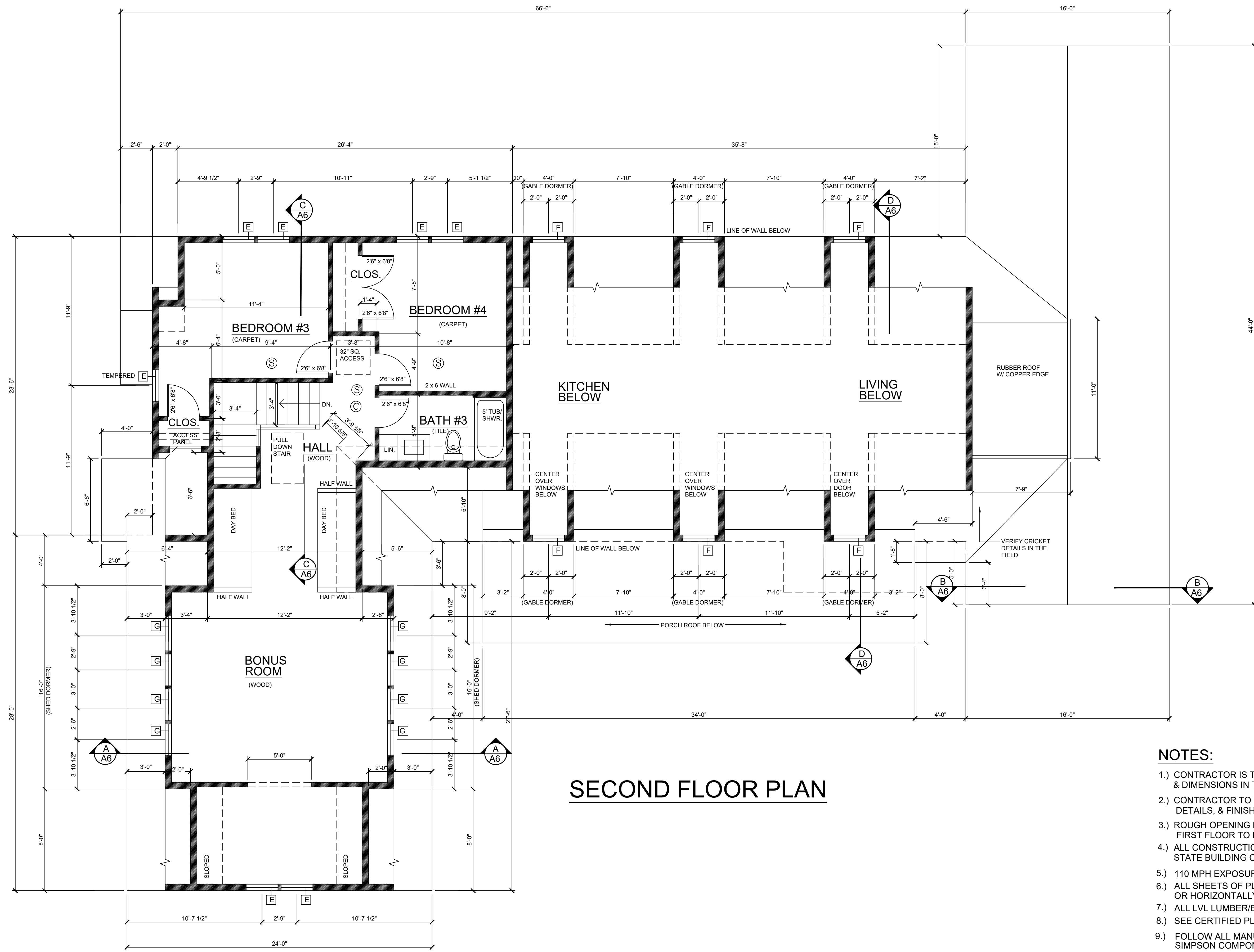
**NEW HOUSE FOR:**  
**CARROLL RESIDENCE**  
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE ADVISED IF ANY ERRORS OR OMISSIONS ARE FOUND IN THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE DRAWINGS. COMMENCES WITHOUT NOTIFYING THE ARCHITECT. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER NOTED. ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

**SCALE:**  
 1/4" = 1'-0"

**DATE:**  
 10/26/2020

**DRAWING NO.:**  
**A1**



**SECOND FLOOR PLAN**

**NOTES:**

- 1.) CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS & DIMENSIONS IN THE FIELD
- 2.) CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES IN THE FIELD WITH OWNER
- 3.) ROUGH OPENING HEAD HEIGHT OF WINDOWS AT FIRST FLOOR FIRST FLOOR TO BE 7'0" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED
- 4.) ALL CONSTRUCTION TO CONFORM TO 780 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDEMENT & IRC2015
- 5.) 110 MPH EXPOSURE B WIND ZONE
- 6.) ALL SHEETS OF PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICALLY, OR HORIZONTALLY W/ BLOCKING AT EDGES, 3"EDGE/12" FIELD NAILING
- 7.) ALL LVL LUMBER/BEAMS TO BE 1.9e L/360 LOAD
- 8.) SEE CERTIFIED PLOT PLAN FOR ALL PROPOSED & EXISTING DETAILS
- 9.) FOLLOW ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL SIMPSON COMPONENTS
- 10.) ALL CONCRETE USED FOR FOUNDATION WALLS, FOOTINGS & SLABS TO BE 3000 PSI AT 28 DAYS
- 11.) VERIFY ALL PLUMBING & ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION
- 12.) TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 900 PSI MIN.
- 13.) PROVIDE UTILITY INSTALLATIONS FROM STREET TO NEW HOUSE VIA UNDERGROUND CONNECTIONS TO COMPLY W/ ALL LOCAL CODES
- 14.) FOLLOW ALL REQUIREMENTS OF THE IECC2018 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR FOR THE STRETCH ENERGY CODE
- 15.) ALL WINDOW AND DOOR HEADERS 4'0" OR LESS TO BE 3- 2 x 8 W/ 2K,2J
- 16.) INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURER'S INSTRUCTIONS
- 17.) FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS

COTUIT BAY DESIGN, LLC  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166

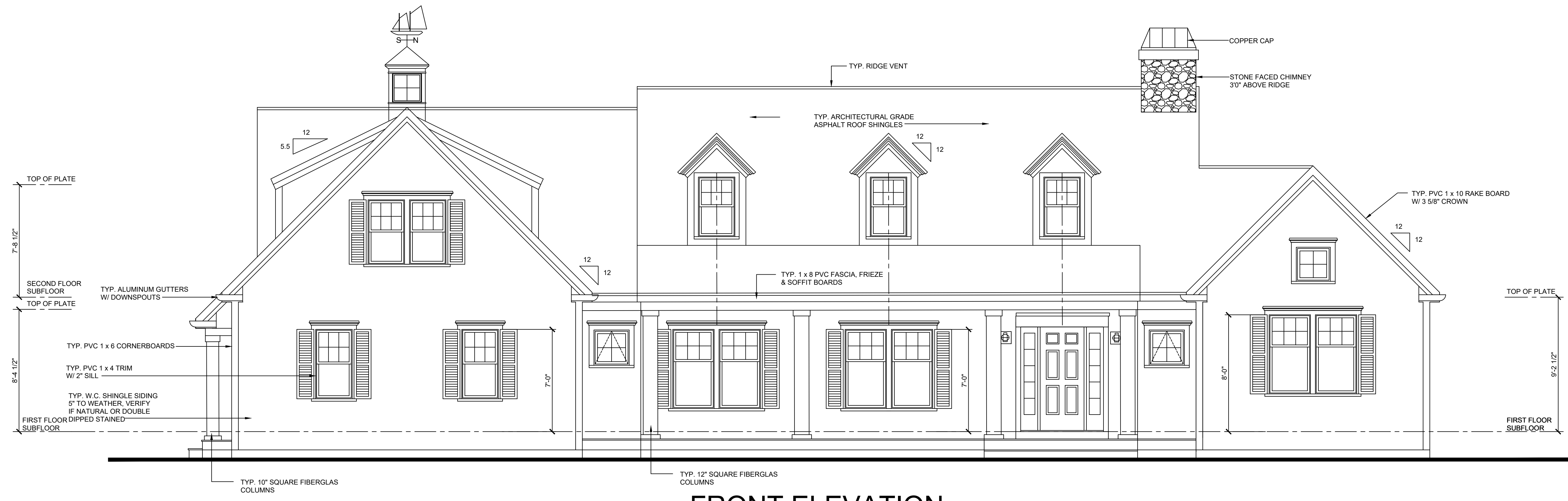
**NEW HOUSE FOR:**  
**CARROLL RESIDENCE**  
 149 PINELEIGH PATH OSTERVILLE, MA

THE USER SHALL BE ADVISED IF ANY ERRORS OR OMISSIONS ARE FOUND IN THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE DRAWINGS. THE USER SHALL COMMENCE CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER NOTED. ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE ARCHITECT. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

**SCALE :**  
 1/4" = 1'-0"

**DATE :**  
 10/26/2020

**DRAWING NO. :**  
**A2**

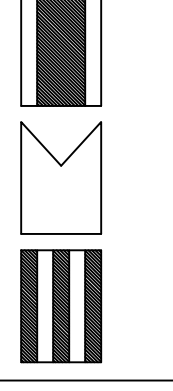


**FRONT ELEVATION**



**LEFT ELEVATION**

COTUIT BAY DESIGN, LLC  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166



**NEW HOUSE FOR:**  
**CARROLL RESIDENCE**  
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES ARE MADE TO THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE :  
 1/4" = 1'-0"

DATE :  
 10/26/2020

DRAWING NO. :  
**A3**





**REAR ELEVATION**



**RIGHT ELEVATION**

**COTUIT BAY DESIGN, LLC**  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166



**NEW HOUSE FOR:**  
**CARROLL RESIDENCE**  
 149 PINELEIGH PATH OSTERVILLE, MA

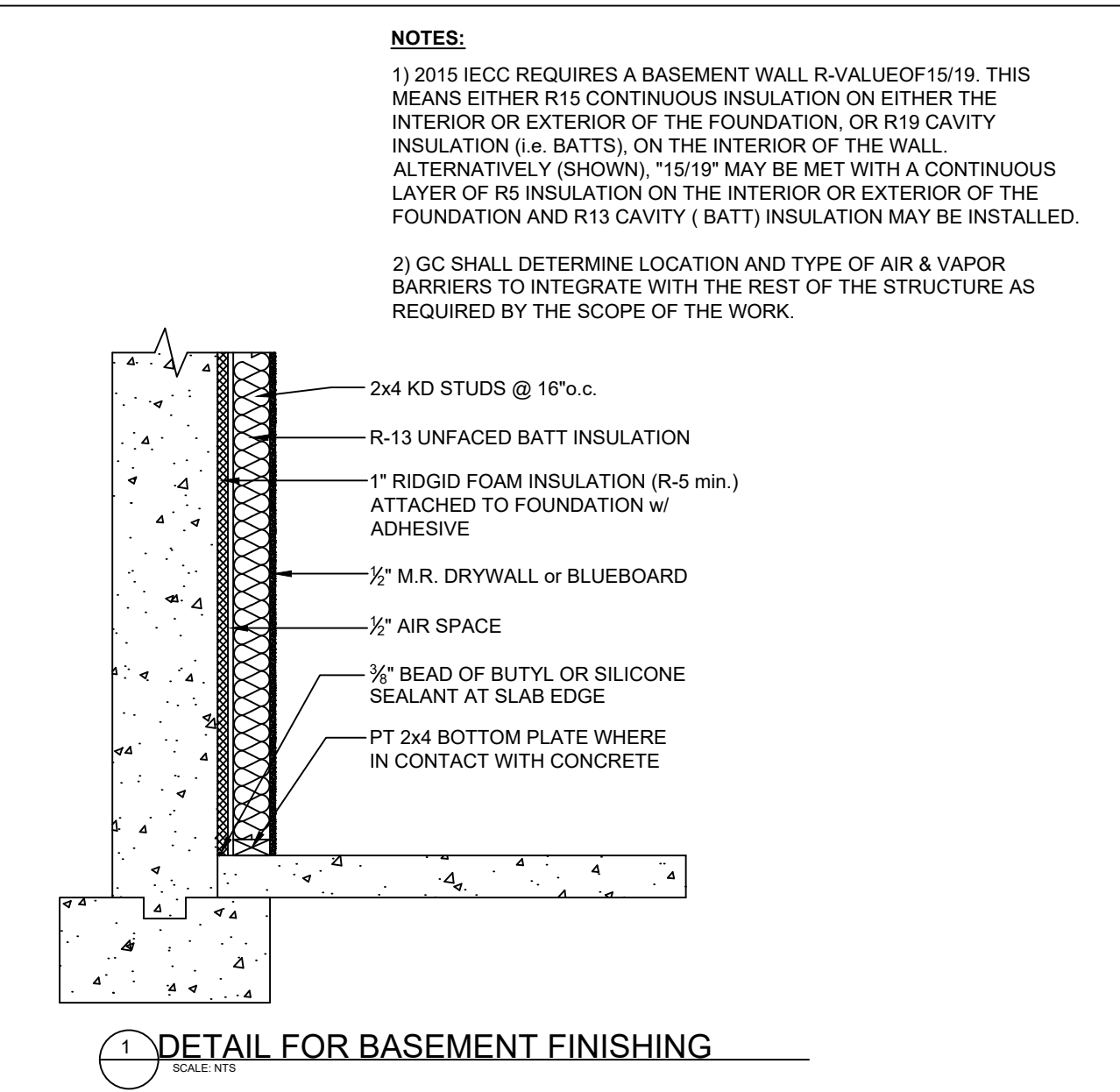
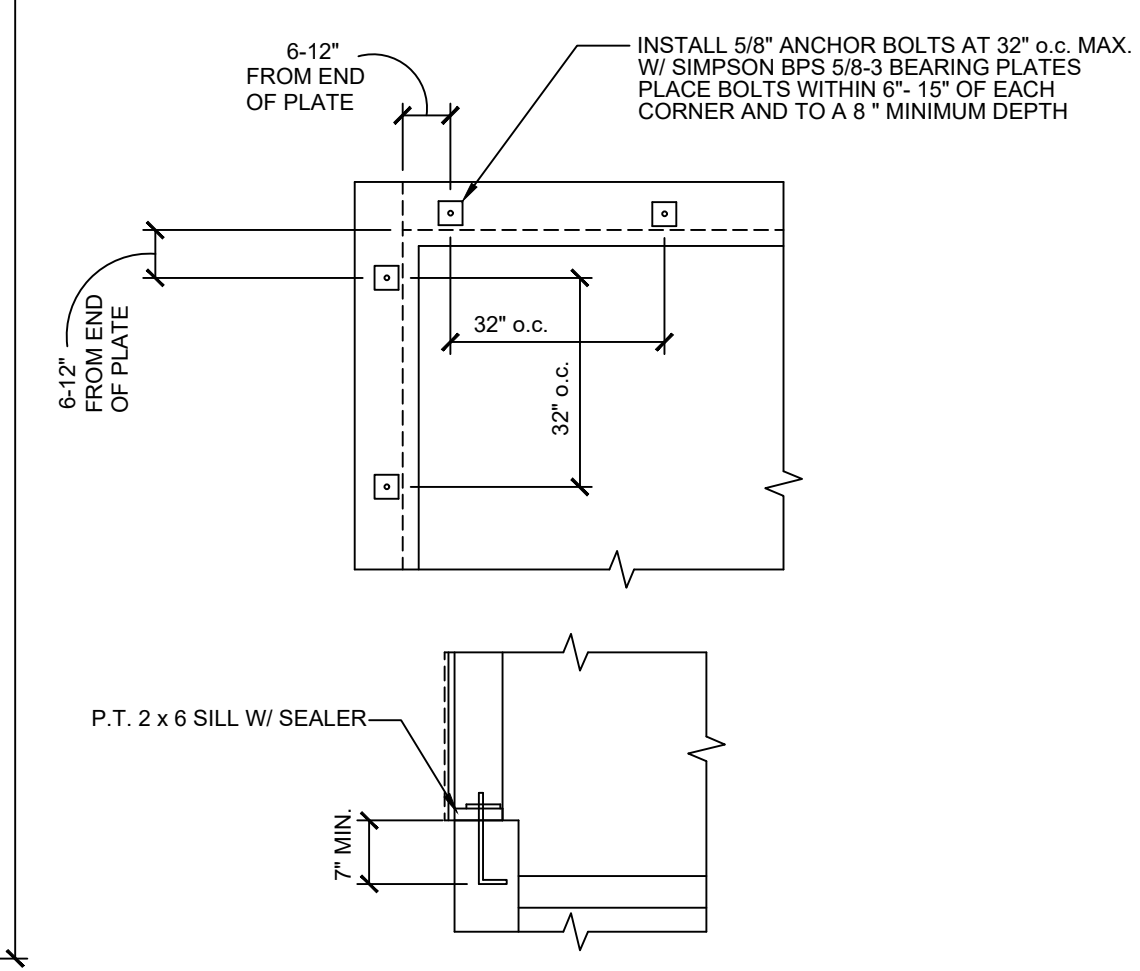
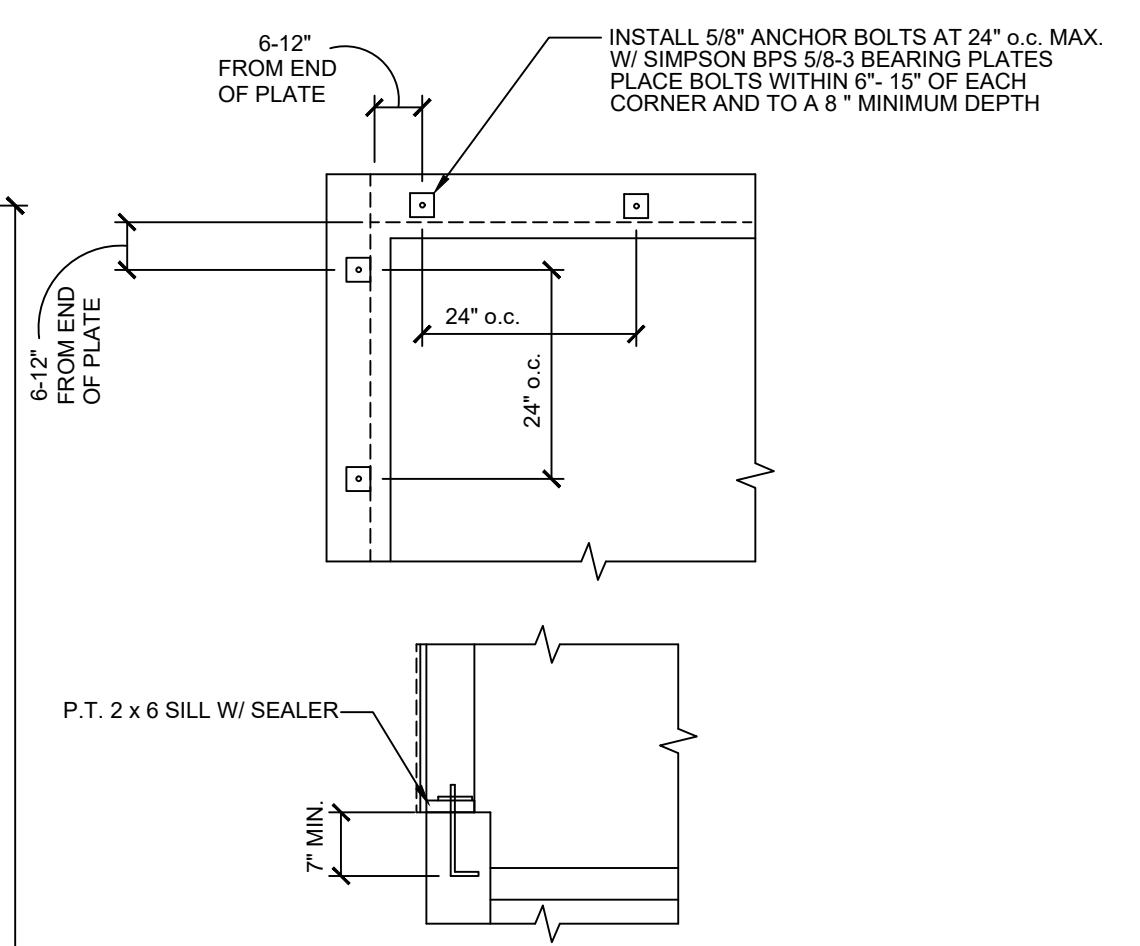
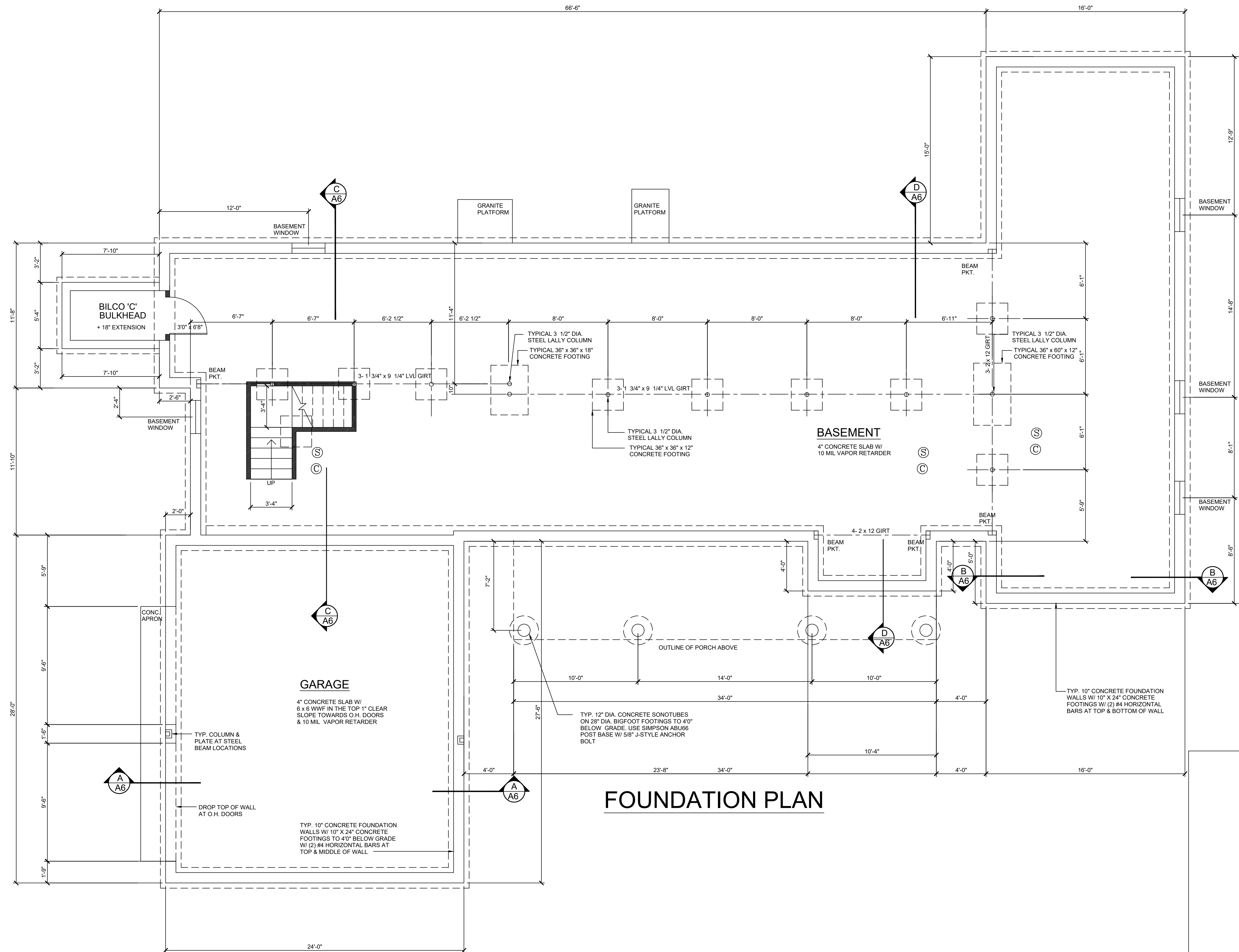
THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES TO THESE DRAWINGS ARE MADE PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMMENTS WITHOUT NOTIFYING THE ARCHITECT. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND NO OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE ARCHITECT. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

**SCALE :**  
 1/4" = 1'-0"

**DATE :**  
 10/26/2020

**DRAWING NO. :**

**A4**



**COTUIT BAY DESIGN, LLC**  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166

**NEW HOUSE FOR:**  
**CARROLL RESIDENCE**  
 149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY CHANGES ARE MADE TO THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THESE DRAWINGS IF CONSTRUCTION COMMENCES WITHOUT NOTIFYING THE DESIGNER. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND ANY OTHER USE OF THESE DRAWINGS REQUIRES THE WRITTEN PERMISSION OF THE DESIGNER. ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

**SCALE:**  
 1/4" = 1'-0"

**DATE:**  
 10/27/2020

**DRAWING NO.:**  
**A5**

**REQUEST TO BE CONTINUED  
TO THE OCTOBER 19<sup>TH</sup> MEETING**

## Maldonado, Kaitlyn

---

**From:** Jimmy Bowes <jimmy@baysidebuilding.com>  
**Sent:** Tuesday, September 14, 2021 3:32 PM  
**To:** Maldonado, Kaitlyn  
**Subject:** Re: Barnstable Historical Commission Meeting Materials

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Kate

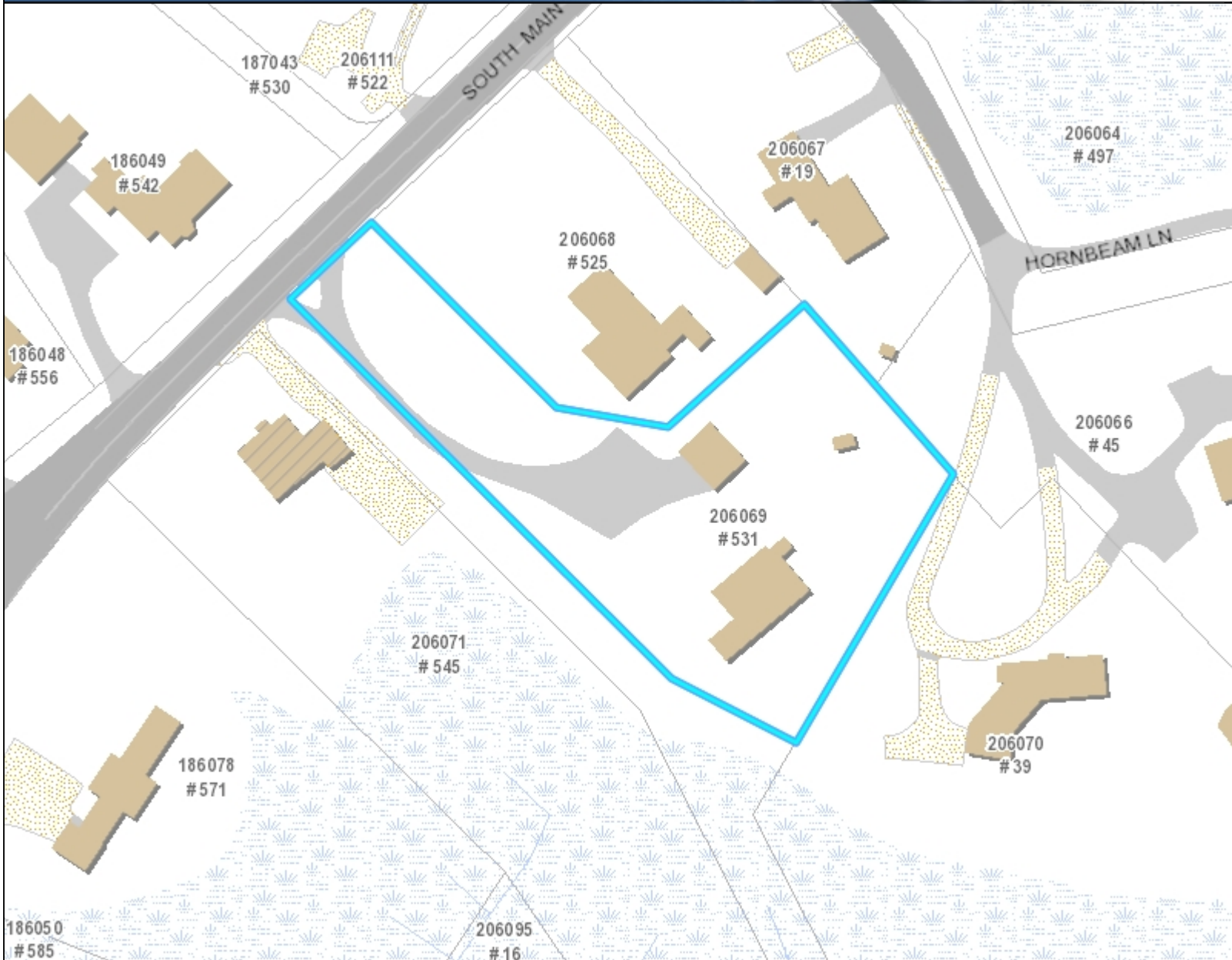
I just sent a voicemail saying we have to postpone because I want have the actual mold/science report back until next Monday.

Therefore can you put us on The October meeting now.

I'll still have everything to you next week but I think it's safest to have all the information in hand for the meeting.

Thanks  
Jimmy

Sent from my iPhone




### Legend

- Parcels
- ==== Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- ▨ Bridge
- Paved Median
- Streams
- ☼ Marsh
- Water Bodies

Map printed on: 10/7/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



**This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.**

**Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.**



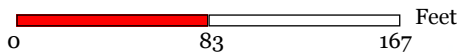
**Town of Barnstable GIS Unit**  
 367 Main Street, Hyannis, MA 02601  
 508-862-4624  
[gis@town.barnstable.ma.us](mailto:gis@town.barnstable.ma.us)

### Legend

Road Names



Map printed on: 10/7/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

# Historical Commission Abutter Map for Subject Parcel 206069

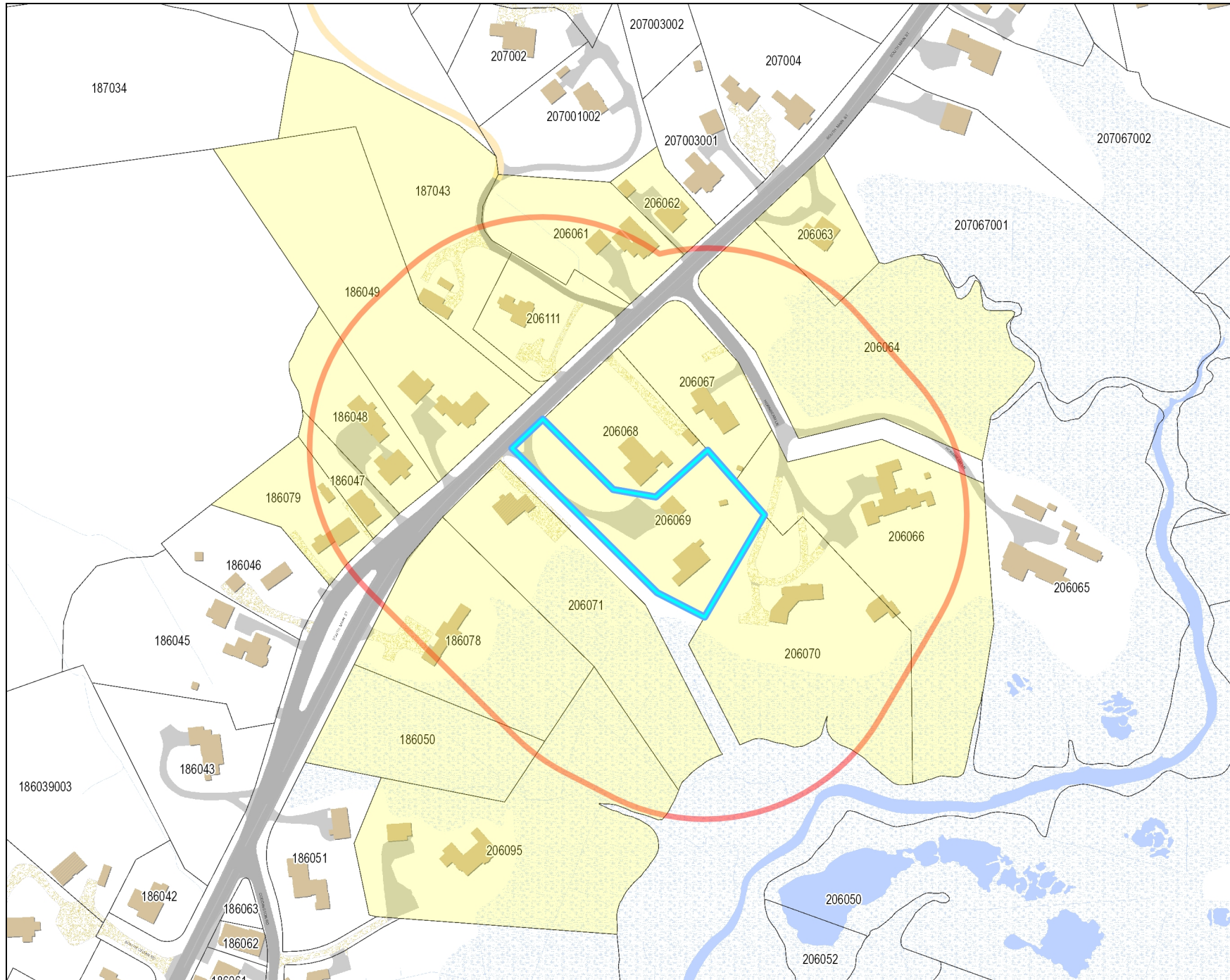
All property owners within 300 feet of the subject property's boundaries

## Town of Barnstable GIS Unit

gis@town.barnstable.ma.us

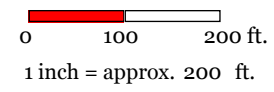
### Legend

- Subject Parcel
- Abutters
- 300 ft. Buffer
- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Buildi
  - Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
  - Paved Road
  - Unpaved Road
- Bridge
- Paved Median
- Water Bodies



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Printed on: 9/15/2021

Parcel: 206-069

Location: 531 SOUTH MAIN STREET, Centerville

Owner: SIMPSON, TERRY L TR



Parcel  
206-069

Location  
531 SOUTH MAIN STREET

Village  
Centerville

Town sewer account  
No

CWMP Sewer Expansion (subject to change with final engineering design)  
Phase 2 (11-20 years)

Developer lot:  
LOT PARCEL B

Road type  
Town

Fire district  
C-O-MM

Secondary road

Road index  
1507

Interactive map



Owner: SIMPSON, TERRY L TR

Owner  
SIMPSON, TERRY L TR  
Street1  
15102 BESTOR BOULEVARD  
City  
PACIFIC PALISADES

Co-Owner  
BLUMIST TRUST  
Street2  
State Zip Country  
CA 90272

Book page  
33583/0267

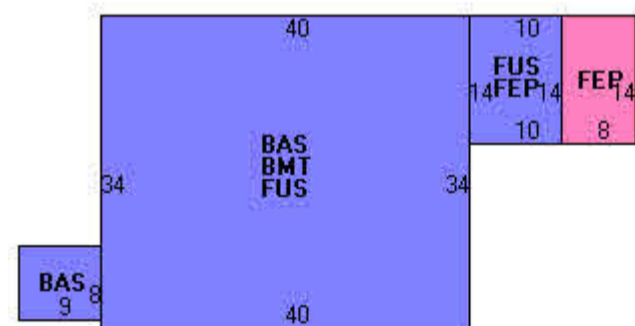
Land

Acres 0.93	Use Single Fam M-01	Zoning CBDCRNB	Neighborhood 0112
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor Water View,Rear Location	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1850	Roof structure Gable/Hip	Heat type Hot Water
Living area 2932	Roof cover Asph/F Gls/Cmp	Heat fuel Oil
Gross area 5929	Exterior wall Wood Shingle	AC type None
Style Gambrel	Interior wall Drywall	Bedrooms 5 Bedrooms
Model Residential	Interior floor Hardwood	Bath rooms 2 Full-0 Half
Grade Luxury	Foundation	Total rooms 9 Rooms
Stories 2		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
01/28/2003	Out Building	66711	\$100	01/05/2004	

Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/16/2020	SIMPSON, TERRY L TR	33583/0267	\$1,250,000
2	03/07/2020	HARVEY, ARTHUR W JR ET AL TRS	33583/0257	\$0
3	03/03/2009	HARVEY, JANICE A TR	23497/0264	\$1
4	05/04/1978	HARVEY, JANICE A	2700/0326	\$80,000

Assessment History

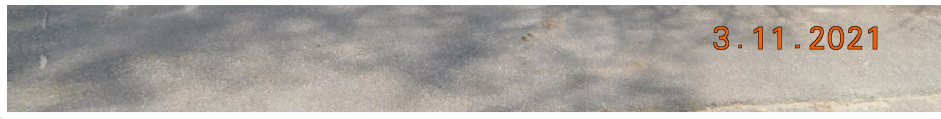
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$315,700	\$39,800	\$44,500	\$471,900	\$871,900



Save #	Year	Building Value	KB Value	OB Value	Land Value	Total Parcel Value
3	2019	\$251,000	\$35,800	\$40,200	\$495,500	\$822,500
4	2018	\$195,600	\$35,800	\$40,900	\$471,900	\$744,200
5	2017	\$192,800	\$36,600	\$31,300	\$471,900	\$732,600
6	2016	\$154,900	\$33,900	\$40,500	\$406,700	\$636,000
7	2015	\$168,800	\$36,400	\$47,700	\$406,300	\$659,200
8	2014	\$168,800	\$36,400	\$48,600	\$406,300	\$660,100
9	2013	\$168,800	\$36,400	\$49,300	\$406,300	\$660,800
10	2012	\$193,400	\$34,800	\$52,300	\$332,500	\$613,000
11	2011	\$230,500	\$3,300	\$54,500	\$332,500	\$620,800
12	2010	\$230,900	\$3,300	\$55,400	\$338,600	\$628,200
13	2009	\$319,500	\$2,400	\$55,200	\$812,700	\$1,189,800
14	2008	\$400,200	\$2,400	\$900	\$796,300	\$1,199,800
16	2007	\$423,900	\$2,400	\$900	\$796,300	\$1,223,500
17	2006	\$361,000	\$2,400	\$900	\$786,900	\$1,151,200
18	2005	\$318,100	\$2,300	\$900	\$669,700	\$991,000
19	2004	\$270,300	\$2,300	\$0	\$669,700	\$942,300
20	2003	\$236,800	\$2,300	\$0	\$246,100	\$485,200
21	2002	\$247,500	\$2,300	\$0	\$246,100	\$495,900
22	2001	\$247,500	\$2,400	\$0	\$246,100	\$496,000
23	2000	\$182,200	\$2,200	\$0	\$130,600	\$315,000
24	1999	\$182,200	\$2,200	\$0	\$130,700	\$315,100
25	1998	\$182,200	\$2,200	\$0	\$130,700	\$315,100
26	1997	\$185,400	\$0	\$0	\$130,600	\$316,000
27	1996	\$185,400	\$0	\$0	\$130,600	\$316,000
28	1995	\$185,400	\$0	\$0	\$130,600	\$316,000
29	1994	\$185,900	\$0	\$0	\$130,600	\$316,500
30	1993	\$185,900	\$0	\$0	\$130,600	\$316,500
31	1992	\$211,400	\$0	\$0	\$145,100	\$356,500
32	1991	\$228,400	\$0	\$0	\$174,100	\$402,500
33	1990	\$228,400	\$0	\$0	\$174,100	\$402,500
34	1989	\$228,400	\$0	\$0	\$174,100	\$402,500
35	1988	\$186,900	\$0	\$0	\$57,500	\$244,400
36	1987	\$186,900	\$0	\$0	\$57,500	\$244,400
37	1986	\$186,900	\$0	\$0	\$57,500	\$244,400

Photos









# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

**Inventory No:** BRN.X  
**Historic Name:** Centerville Main Street Area  
**Common Name:**  
**Address:**  
**City/Town:** Barnstable  
**Village/Neighborhood:** Centerville  
**Local No:**  
**Year Constructed:**  
**Architect(s):**  
**Architectural Style(s):**  
**Use(s):** Commercial District; Residential District  
**Significance:**  
**Area(s):**  
**Designation(s):**  
**Building Materials(s):**



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

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Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

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Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Friday, October 15, 2021 at 10:27 AM



BRN X

7. Historical data. Explain the historical/architectural importance of this area.

Centerville, originally called Chequaquet or Wequaquet, began to develop as a village about 1800 although there is evidence of settlers as early as 1696. In 1834 the Centerville post office was established and the old name of Chequequet disappeared (See Form C15).

This section of the village encompassed what could be called the business district. Many early business ventures started in this area and are still thriving today. In 1837, thirty-seven men joined together (later called the Centerville Trading Co.) and became co-partners in trade "...for the purpose of carrying on the business of merchants and conducting mercantile enterprises." Blacksmith shops, tin shop, paint shop, groceries and dry goods all began in this area during the late 1700's and early 1800's (See Form #'S C25,C23,C15).

There are two schools located in this area--The Bacon Home School and the Centerville School (See Form #'s C24, C26).

The South Congregational Church of Centerville, originally located on Phinney's Lane, was dismantled moved to its current site and rebuilt C. 1826 (See Form #C-27).

The maritime history of Centerville is still evident today. Many of the houses in this area were the residences of sea captains during the early and mid 1800's. Coastal as well as deep water shipmasters sailed not only along the New England coastline but around the world bringing back exotic trinkets, furnishings and new ideas in housing construction and design. Many captains first went to sea as cabin boys between the ages of 9-13 and later became masters of the same ships on which they first sailed.

The establishment in this area of Centerville of the Civil War monument for the entire Town of Barnstable was a very prestigious event (See Form #'s C903,904). The 15 foot tall shaft of Concord granite was dedicated in 1866. The memorial marker is one of the first four to be erected in the country and is the site of Memorial Day exercises every year.

This Main Street area combines the influences of commerce, seafaring, education and religion, all of which have combined to give the heart of Centerville its distinctive ambiance.

8. Bibliography and/or references such as local histories, deeds, assessor's records, early maps, etc.

Trayser, Donald G., Barnstable-Three Centuries of A Cape Cod Town, 1939.  
Deyo, Simeon, The History of Barnstable County, Massachusetts, 1890.  
Barnstable County Atlas 1858, 1880, 1907  
Ungerman, Florence, W., Centerville Shipmasters and Seafaring Days, 1977.  
The Seven Villages of Barnstable, 1976

BRN X



Town of Barnstable

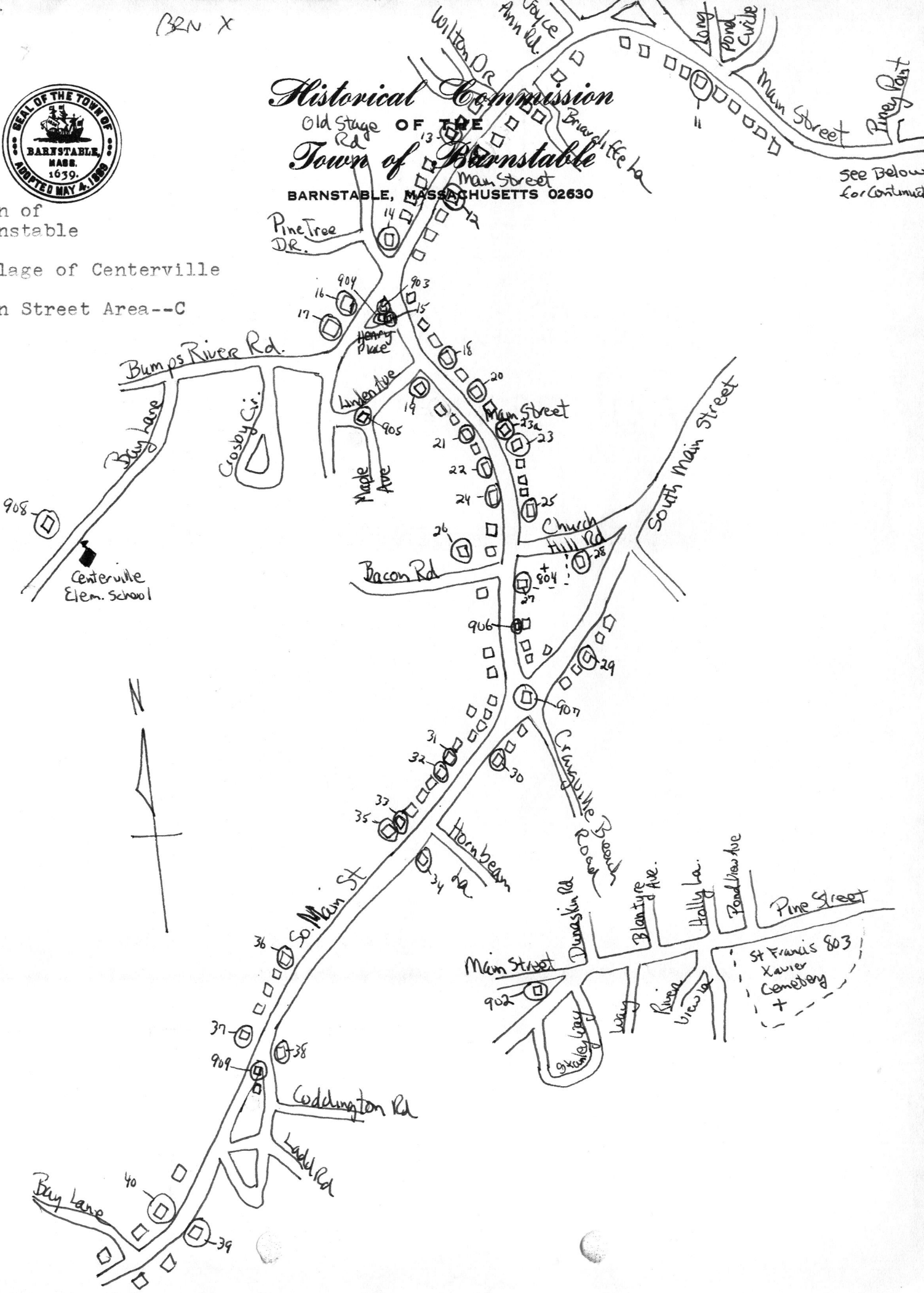
Village of Centerville

Main Street Area--C

# Historical Commission

Old Stage OF THE  
Town of Barnstable  
BARNSTABLE, MASSACHUSETTS 02630

see Below for Continuation







Centerville  
Main Street Area C

Dowsey  
Beach

Dowsey  
Beach



**DIRECTIONS:**  
 From Lyons - follow Main Street to the West End Rotary. Take the third exit onto Scudder Ave. Turn right onto Cambridge Street and left onto South Main Street (531) is on the left.

**ZONE:**  
 CADSWING  
 Area (sq. ft.) 87,120 SF  
 Frontage (ft.) 123'  
 Width (ft.) N/A  
 Setback 20'  
 Side 15'  
 Rear 15'

**OVERLAY DISTRICT:**  
 AO - Aquifer Protection District  
 Saltwater Estuary Protection District

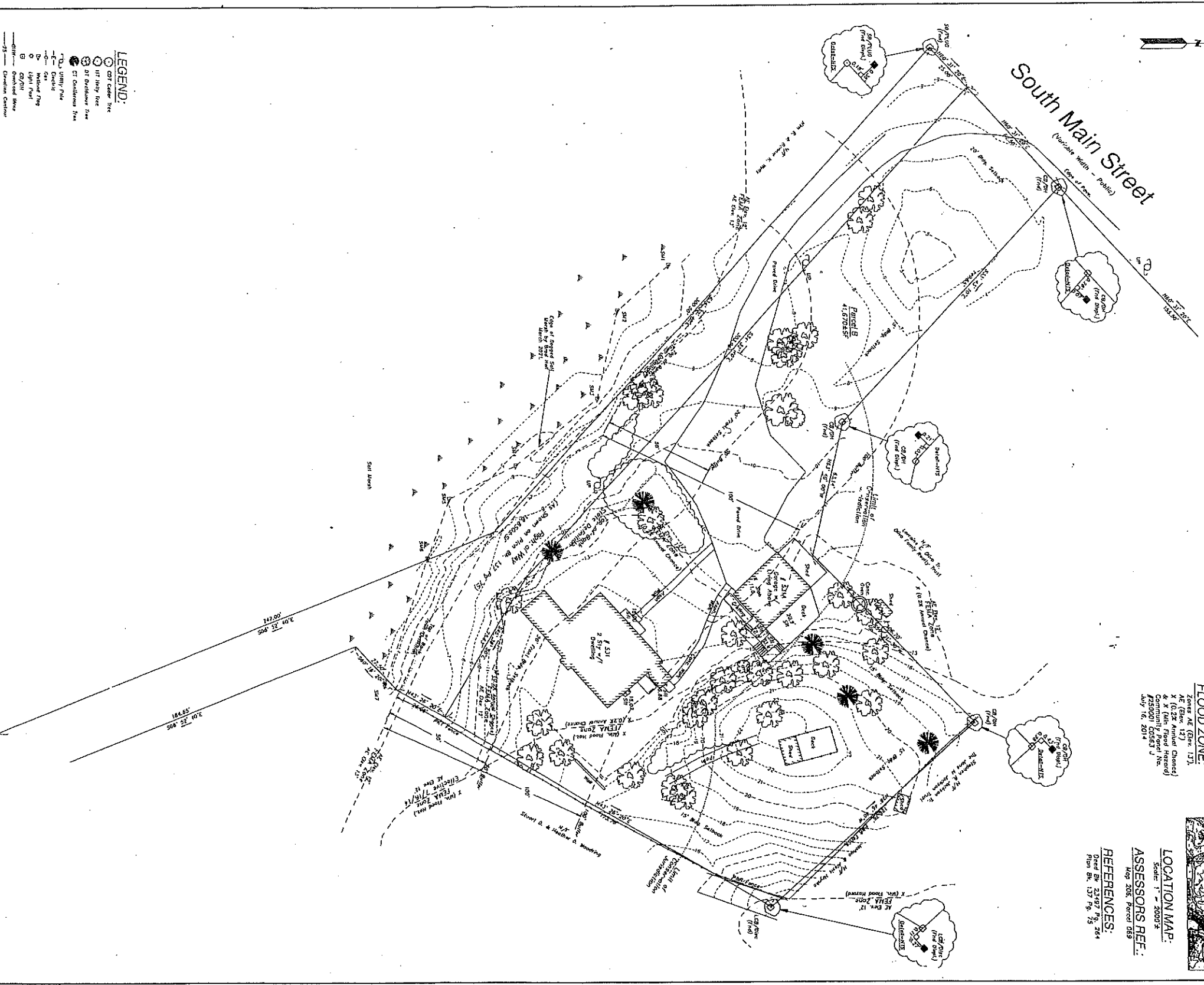
**FLOOD ZONE:**  
 Zone AE (Gen. 1.7)  
 AE (Shak 1.7)  
 X (0.2% Annual Chanc)  
 & X (1% Ann Flood Hazard)  
 Flood Hazard No.  
 P250001 00583 J  
 July 16, 2014



**LOCATION MAP:**  
 Scale 1" = 2000 ft

**ASSESSORS REF:**  
 Map 206, Parcel 058

**REFERENCES:**  
 Order No. 257 P. 26  
 Plan No. 257 P. 26

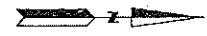


**LEGEND:**

- COT Center Mark
- UT Utility Pole
- AT Outside Line
- CT Outside Line
- UT Utility Pole
- Center
- Without Flag
- Light Post
- CS/IN
- Overhead Meter
- Overhead Meter

<b>TITLE</b> Site Plan Existing Conditions Of 531 South Main Street Barnstable (Centerville) Mass.	<b>PREPARED BY:</b>  Sullivan Consulting & Engineering & Construction Co. 15801 42A234A - P.O. Box 89 - 271 Main Street, Centerville, MA 02555 web@sullivaneng.com www.sullivaneng.com	<b>DATE</b> April 7, 2021	<b>SCALE:</b> 1" = 20'	<b>PROJECT:</b> Project: 3102015	<b>PREPARED FOR:</b> Kandell & Welch Construction Co.	<b>NOTES:</b> 1) No property line information shown was compiled from available record information. 2) The topographic information was selected from an aerial photograph of the project area on 4/9/2021. 3) The datum used is MVD 86, a fixed mean sea level datum.

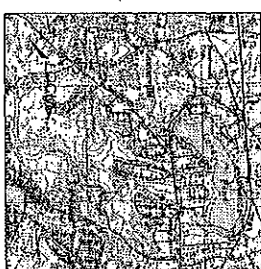
**DIRECTIONS:**  
From Highway - Follow Main Street to the West Fire Station. Turn right onto South Street at the stop sign. Turn right onto South Street at the stop sign onto South Main Street (531) is on the left.



**ZONE:**  
Zoning Ordinance 87.120.5F  
Frontage (ft) 123  
Width (ft) N/A  
Subsector:  
Zone 120  
Rev 15

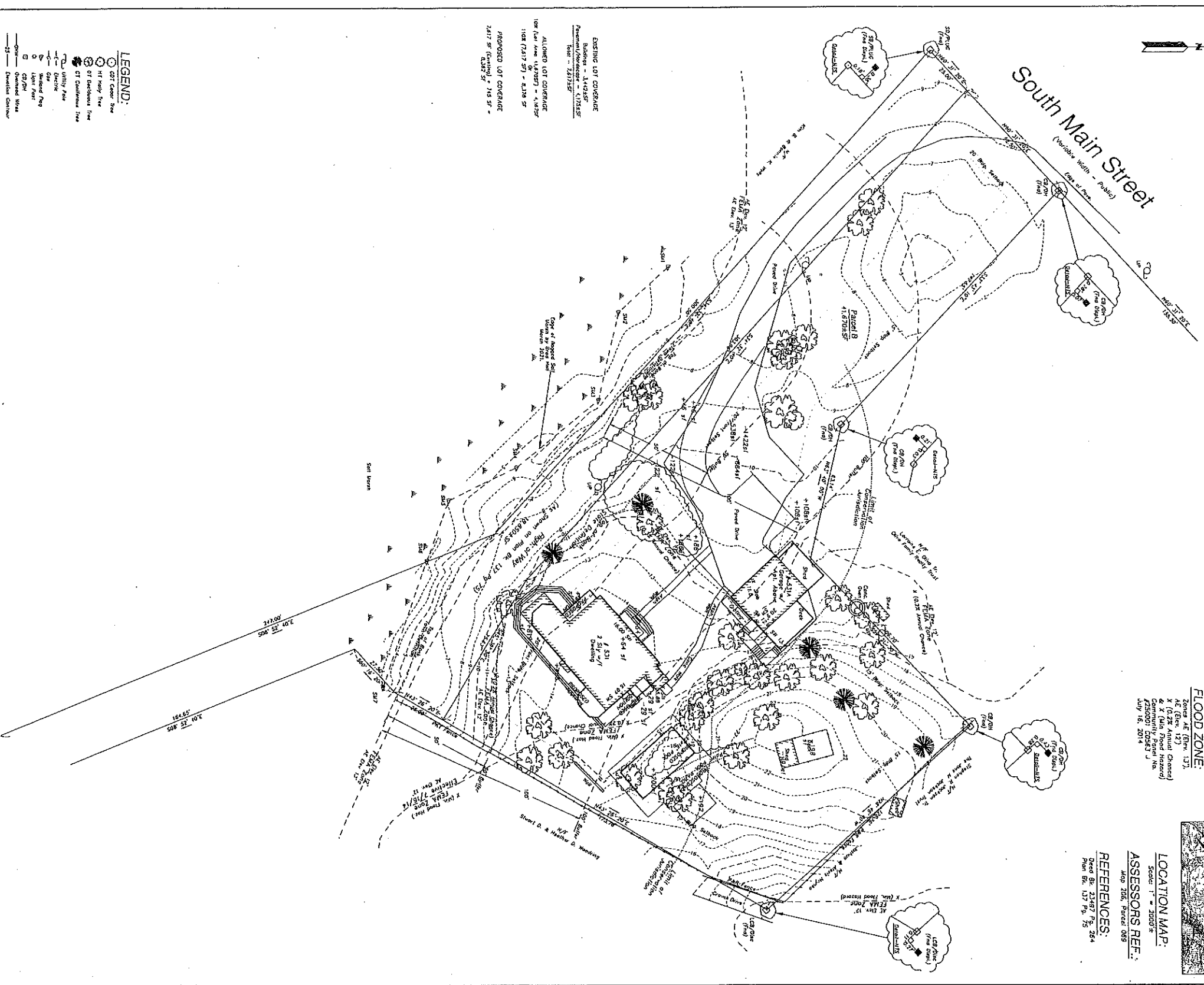
**OVERLAY DISTRICT:**  
OS - Aquifer Protection District  
Sullivan Estuary Protection District

**FLOOD ZONE:**  
Special Flood Hazard Zone  
X (1% Annual Flood Hazard)  
& X (1% Inundation Hazard)  
Community Flood No.  
000000000  
July 16, 2014



**LOCATION MAP:**  
Scale: 1" = 2000'  
**ASSESSORS REF.:**  
Map 205, Parcel 065

**REFERENCES:**  
Deed Bk. 23487 Pg. 264  
Plan Bk. 137 Pg. 75



<p><b>TITLE:</b> Site Plan Proposed Improvements Of 531 South Main Street Barnstable (Centerville) Mass.</p> <p><b>DATE:</b> June 25, 2021</p> <p><b>SCALE:</b> 1" = 20'</p>	<p><b>PREPARED BY:</b> <b>Sullivan Engineering &amp; Consulting, Inc.</b> (508) 428-2344 • P.O. Box 659 • 711 Main Street, Centerville, MA 02525 sac@sullivaneng.com • www.sullivaneng.com</p> <p><b>PROJECT:</b> Kendal &amp; Welch Agency   Project #: 310016</p>	<p><b>PREPARED FOR:</b> <b>Kendal &amp; Welch Construction Co.</b></p>	<p><b>NOTES:</b> 1) The property line information shown was compiled from available record information. 2) The geographic information was collected from an on site survey performed on or between 3/5/2021 and 3/12/2021 using GPS RTK. 3) The datum used is NAVD 83, a fixed mean sea level datum.</p>
--	---	--	--

DATE: 7/29/21  
 OF 6  
 SHEET # A.3  
 PROJECT #: 20-21

SCALE: 1/8" = 1'-0"  
 0 1 2 3 4 5 6 7 8

TITLE: ELEVATIONS

PROJECT: PROPOSED SIMPSON RESIDENCE  
 631 SOUTH MAIN ST.  
 CENTERVILLE, MA.

STAMP: STRUCUTRAL ENGINEER: TAYLOR DESIGN LLC

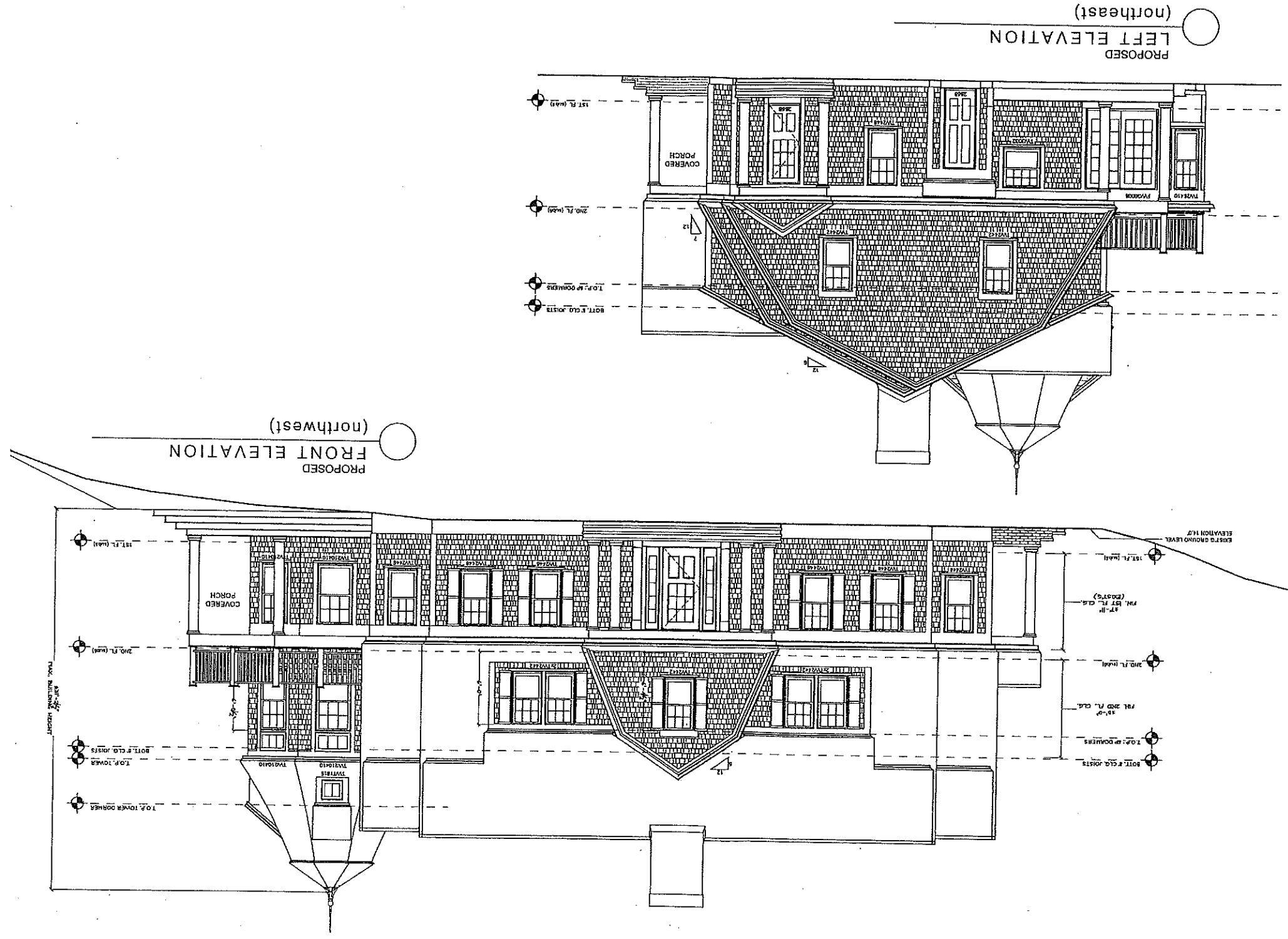
DESIGNER: NORTHSIDE DESIGN ASSOCIATES  
 141 MAIN STREET + YARMOUTHPORT + MA 01987  
 (508) 832-2122  
 (508) 832-2122  
 NORTHVILLE + CONNECTICUT

BUILDER:

© COPYRIGHT NORTHIDE HEREBY EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT, AND ALL OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF NORTHIDE DESIGN ASSOCIATES.

NO.	REVISION	DATE

GENERAL NOTES  
 1. ALL EXTERIOR WALLS SHALL BE 2x8 @ 16" O.C. UNLESS OTHERWISE NOTED.  
 2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.  
 3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.  
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.



PROPOSED FRONT ELEVATION (northwest)

PROPOSED LEFT ELEVATION (northeast)

DATE: 7/29/21  
 OF 6  
 SHEET # A.4  
 PROJECT # 20-21

SCALE: 1/8" = 1'-0"  
 0 1 2 4 8

TITLE: ELEVATIONS

PROJECT: PROPOSED SIMPSON RESIDENCE  
 631 SOUTH MAIN ST.  
 CENTERVILLE, MA

STAMP: STRUCTURAL ENGINEER: TAYLOR DESIGN LLC

DESIGNER: NORTHSIDE DESIGN ASSOCIATES  
 125 MAIN STREET - YAMBOURNE - MA 01973  
 (508) 853-2338  
 northside@comcast.net

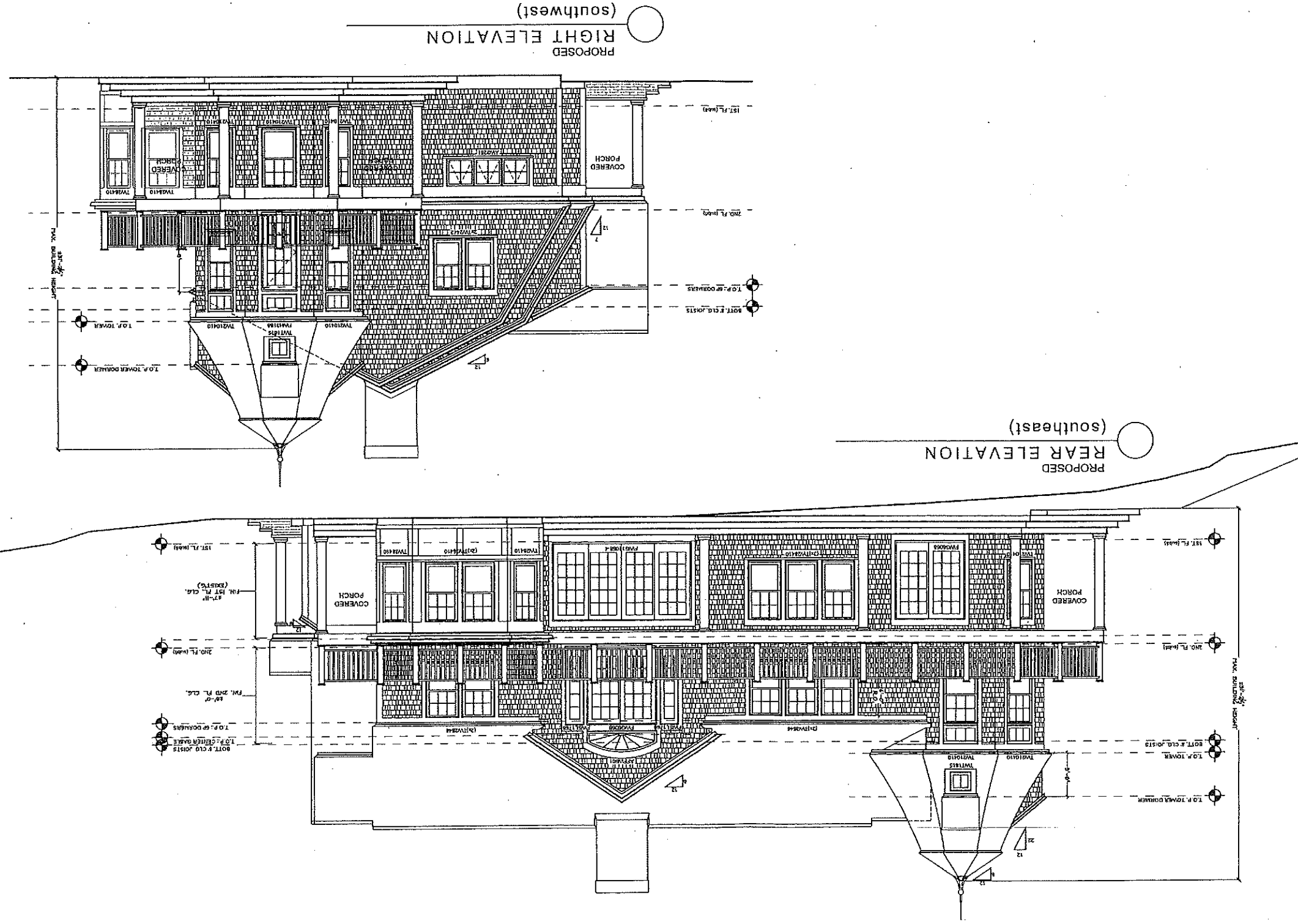
BUILDER:

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NO.	REVISION	DATE

DESIGNER: THE ATTENTION OF THE DIMENSIONS NOT BROUGHT TO ANY MISSING OR INCORRECT ASSUMES RESPONSIBILITY FOR CONTRACTOR. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO 1. CONTRACTOR SHALL VERIFY 1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED. 2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED. 3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.

GENERAL NOTES



PROPOSED RIGHT ELEVATION (southwest)

PROPOSED REAR ELEVATION (southeast)

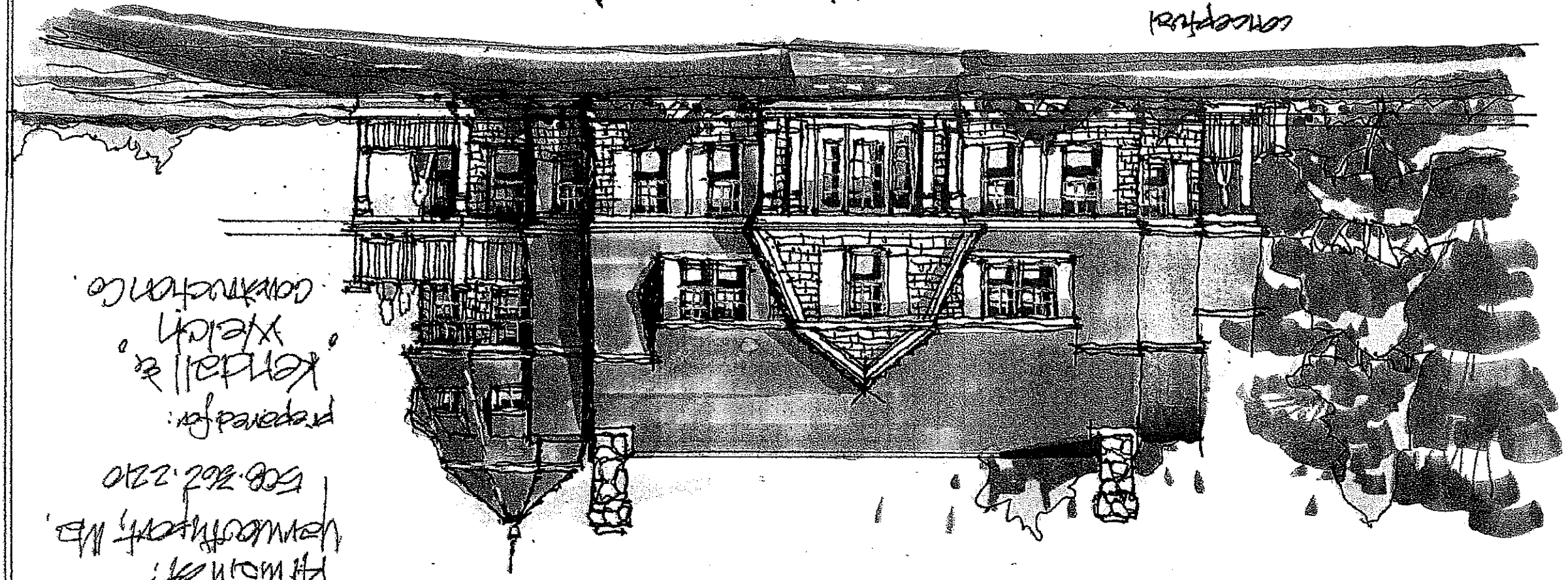
1/1

scale 1/8" = 1'-0"

Northwest

FRONT ELEVATION

conceptual



prepared for:  
 Kentall &  
 Welch  
 CONTRACTORS  
 508.262.2210  
 Newmarket, NB  
 4th main st  
 3000 sq ft  
 Northside design  
 design

prepared addition/renovation:  
 SIMON KANDICE  
 #531 SOUTH MAIN ST  
 CENTREVILLE, VA

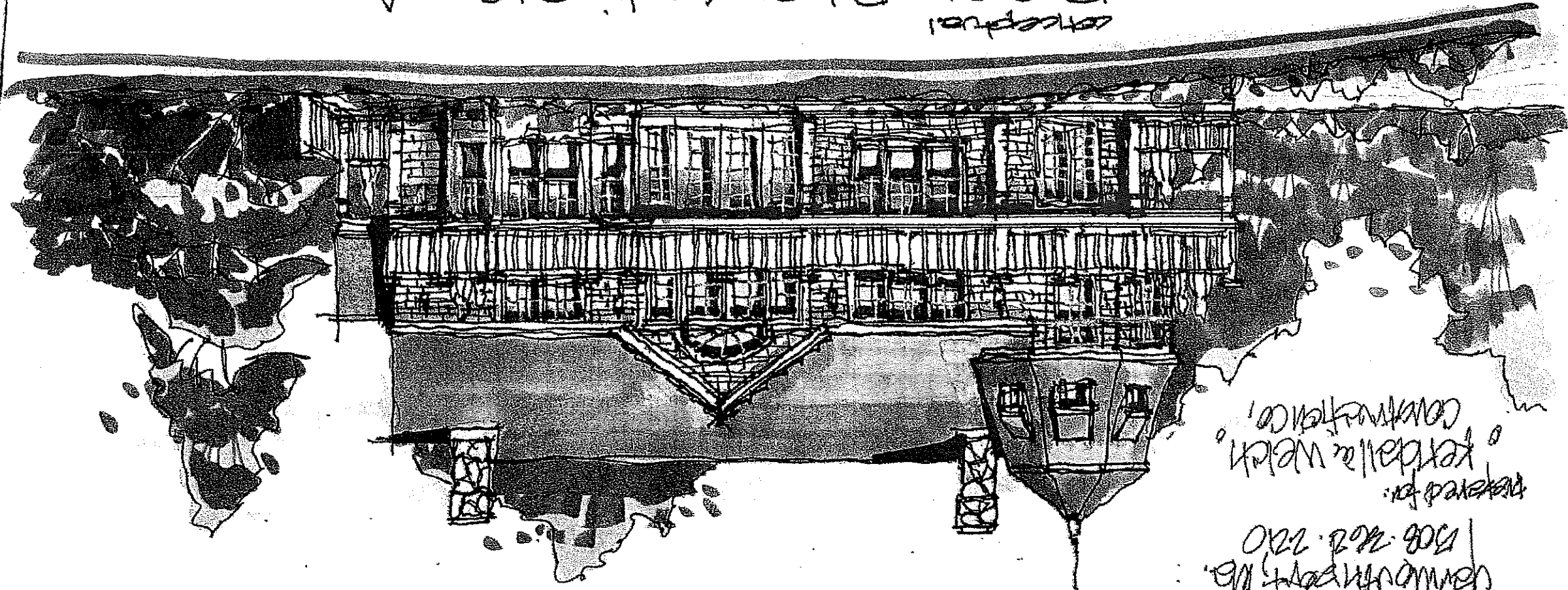
may 12, 2021

#A2

• BOATHOUSE •

• MADE 1/8" = 1'0"

• REAR ELEVATION • A •



• SIMPSON RESIDENCE •  
 #5101 WAINWAT.  
 CATHAMVILLE, WA.  
 REAR ELEVATION / REAR BOATHOUSE

DESIGNED BY  
 NORTH POLE DESIGN GROUP  
 14 MAIN ST.  
 CATHAMVILLE, WA.  
 BOB: 202.220.2200  
 PREPARED FOR:  
 KETBALL & WELCH  
 CONTRACTORS, INC.

MAY 12, 2021

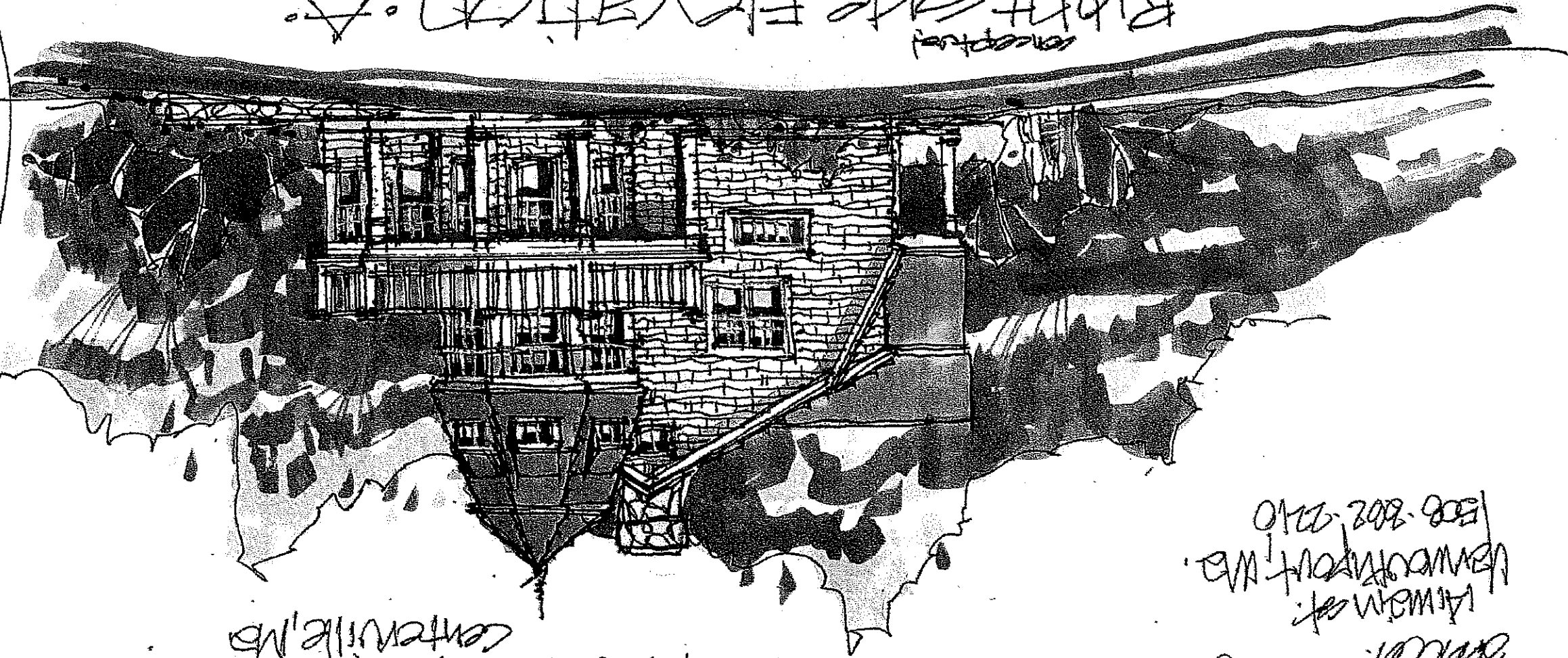


1/3

Southwest

1:10

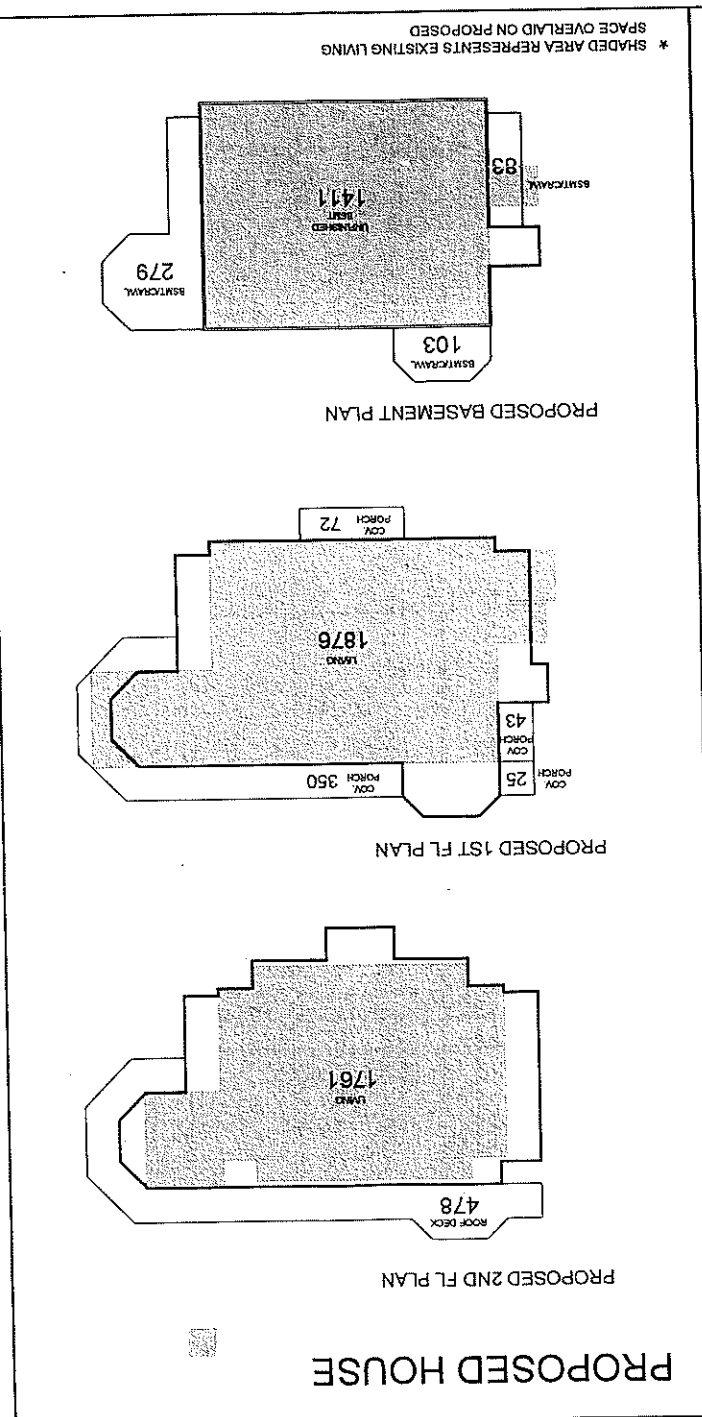
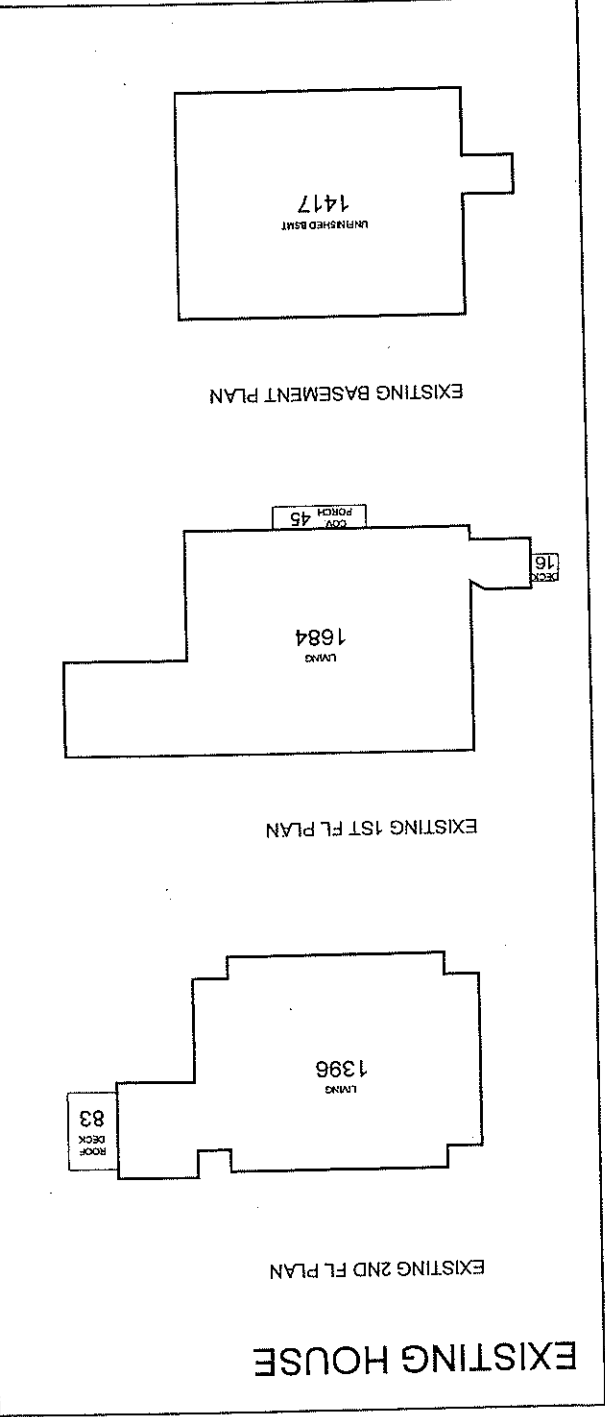
Right Side Elevation



Simpson Residence  
 #531 South Main St  
 Centerville, NB

William J. Lamont  
 Architect  
 1508-802-2210  
 Centerville, NB

May 2021



**EXISTING GARAGE & APT.**

EXISTING 2ND FL PLAN

EXISTING 1ST FL PLAN

**PROPOSED GARAGE & APT.**

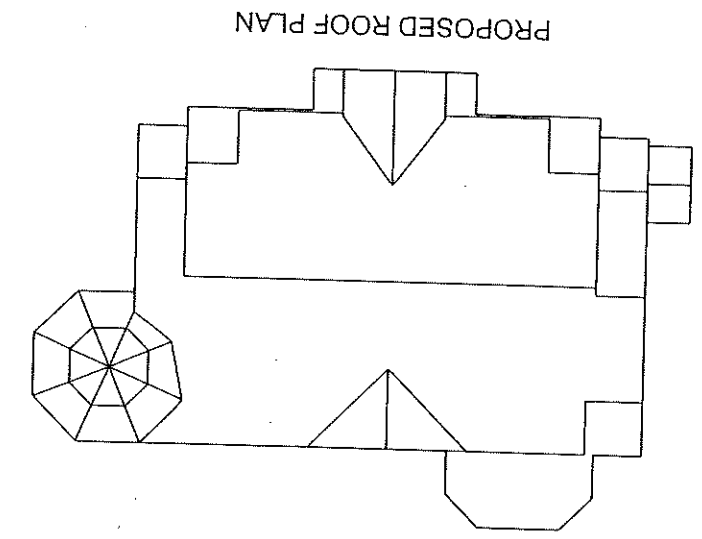
PROPOSED 2ND FL PLAN

PROPOSED 1ST FL PLAN

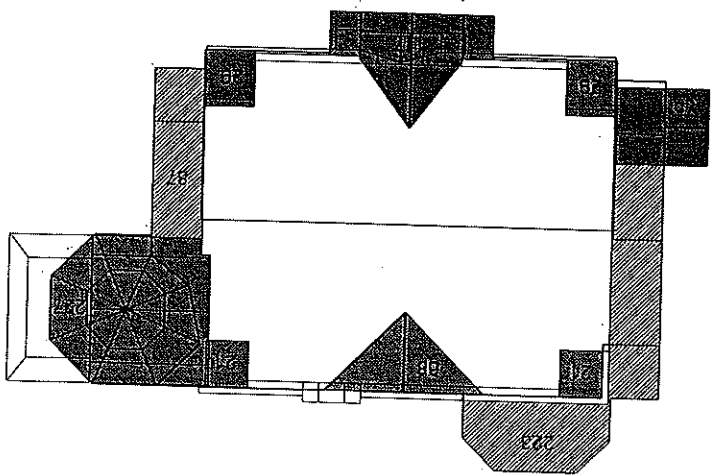
\* SHADED AREA REPRESENTS EXISTING LIVING SPACE OVERLAID ON PROPOSED




FLOOR AREA CALCULATIONS: HOUSE AND GARAGE TOGETHER	
EXISTING FINISHED FLOOR AREA	3707 SF
EXISTING UNFINISHED BASEMENT	1417 SF
EXISTING GARAGE/SHOP/STORAGE	1074 SF
EXISTING IMPERMEABLE DECKS	46 SF
TOTAL	6661 SF
PROPOSED FINISHED FLOOR AREA	4245 SF
PROPOSED UNFINISHED BASEMENT	1835 SF
PROPOSED GARAGE/SHOP/STORAGE	1054 SF
PROPOSED IMPERMEABLE DECKS	115 SF
PROPOSED PERMEABLE DECKS	1091 SF
TOTAL	8340 SF
TOTAL AREA DIFFERENCE	
8340 - 6661 = 1679 SF	
ENCLOSED LIVING SPACE DIFFERENCE (NOT INCLUDING DECKS)	
7134 - 6198 = 936 SF	

HOUSE  
531 SOUTH MAIN STREET  
ROOF AREA CALCULATIONS

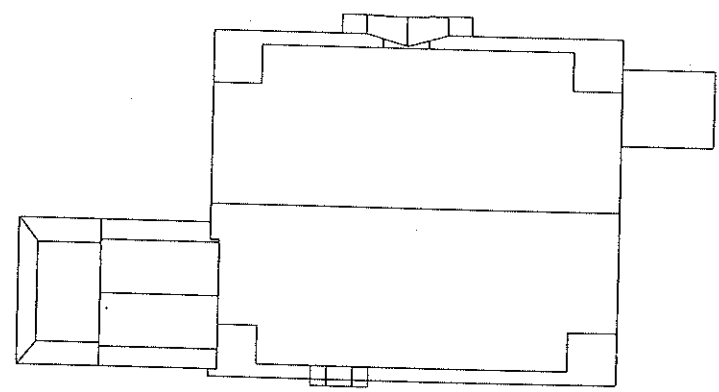


PROPOSED ROOF PLAN



-  PROPOSED (NEW) ROOF AREAS
-  EXISTING ROOF AREAS CHANGED
-  EXISTING ROOF AREAS REMAIN

EXISTING ROOF PLAN  
TOTAL AREA OF 1905 SQ. FT.  
50% = 952.5 SQ. FT.



TOTAL OF ALL ALTERED AND NEW ROOF AREAS:  
897 SQ. FT.


GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY ISSUES OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

NO.	REVISION	DATE

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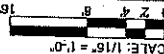
BUILDER:

DESIGNER: NORTHSIDE DESIGN ASSOCIATES  
  
 1000 W. 10TH STREET, SUITE 100, WASHINGTON, VA 22187  
 (703) 498-2310  
 nortshoredesign.com  
 nortshoredesign@comcast.net

STRUCTURAL ENGINEER:  
TAYLOR DESIGN LLC  
STAMP:

PROJECT:  
SIMPSON RESIDENCE  
531 SOUTH MAIN ST.  
CENTERVILLE, VA.

TITLE:  
ROOF CALCULATIONS

SCALE: 1/8" = 1'-0"  


PROJECT #: 20-01  
 SHEET: 2 OF 3  
 DATE: 7/13/21

DATE: 7/29/21  
 OF 6  
 SHEET: G2 OF 20-21

PROJECT #: 20-21  
 SCALE: 1/8" = 1'-0"

TITLE: GARAGE ELEVATIONS

PROJECT: PROPOSED SIMPSON RESIDENCE  
 531 SOUTH MAIN ST.  
 CENTERVILLE, MA.

STAMP:  
 STRUCTURAL ENGINEER:  
 TAYLOR DESIGN LLC

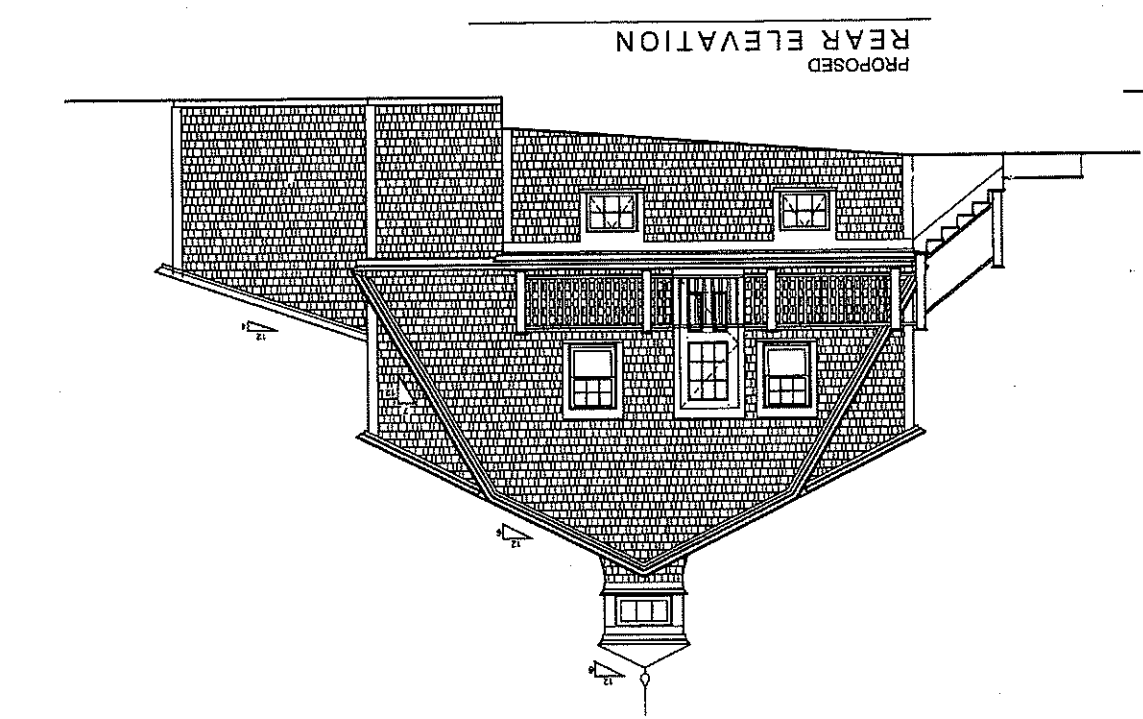
DESIGNER: NORTHSIDE DESIGN ASSOCIATES  
 111 HANOVER ST. FAYETTEVILLE, MA 02725  
 (508) 542-3320  
 NORTH SIDE DESIGN ASSOCIATES

BUILDER:

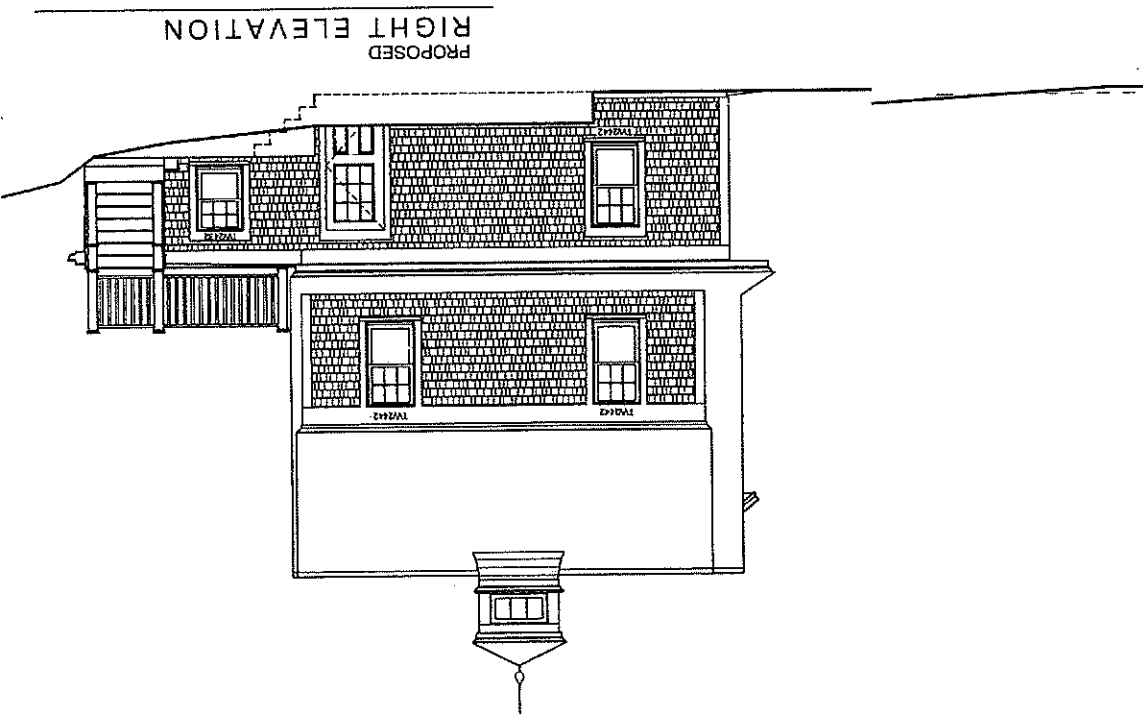
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NO.	REVISION	DATE

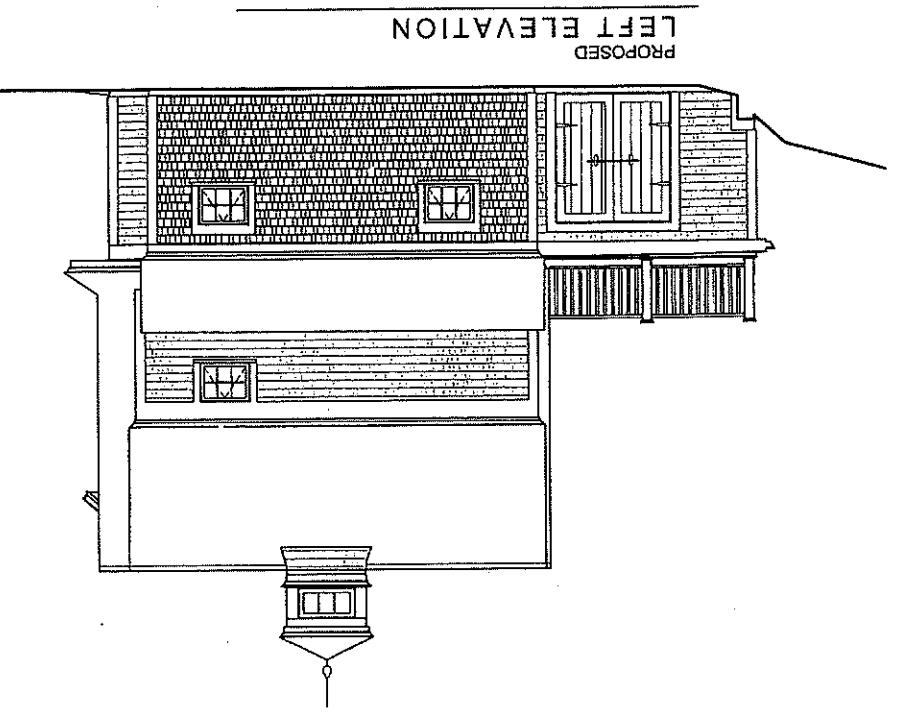
GENERAL NOTES  
 1. ALL EXTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.  
 2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.  
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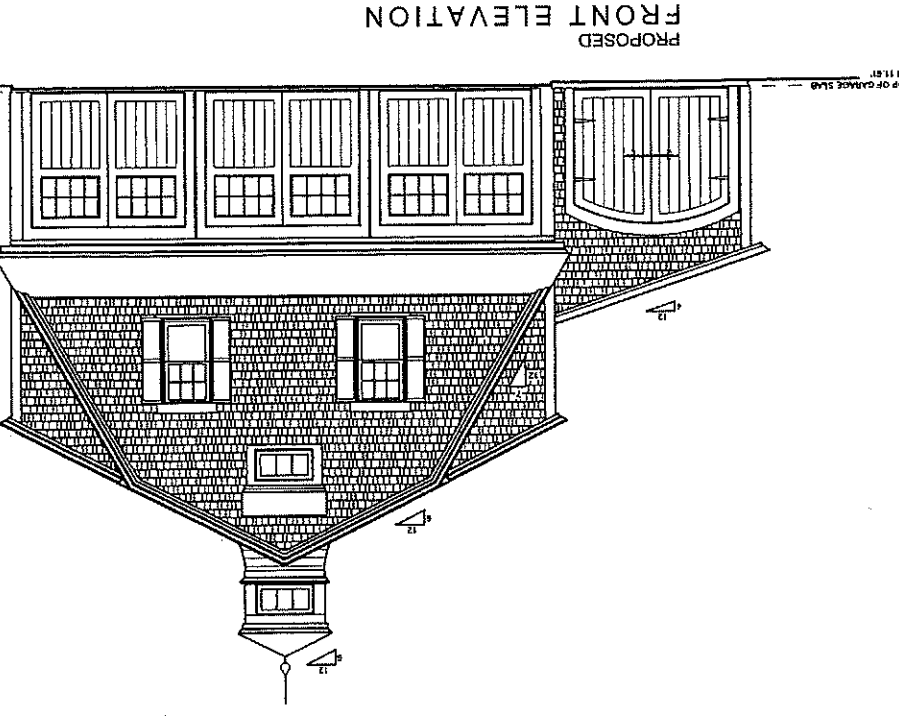
PROPOSED REAR ELEVATION



PROPOSED RIGHT ELEVATION



PROPOSED LEFT ELEVATION



PROPOSED FRONT ELEVATION

EAST TO TOP OF GARAGE SLAB ELEVATION 11.81'

DATE: 3/26/21  
 OF 7  
 PROJECT #: EX.4  
 SHEET

SCALE: 1/8" = 1'-0"

TITLE: ELEVATIONS

PROJECT: EXISTING  
 SIMPSON RESIDENCE  
 531 SOUTH MAIN ST.  
 CENTERVILLE, MA.

STAMP:  
 STRUCTURAL ENGINEER:  
 TAYLOR DESIGN LLC

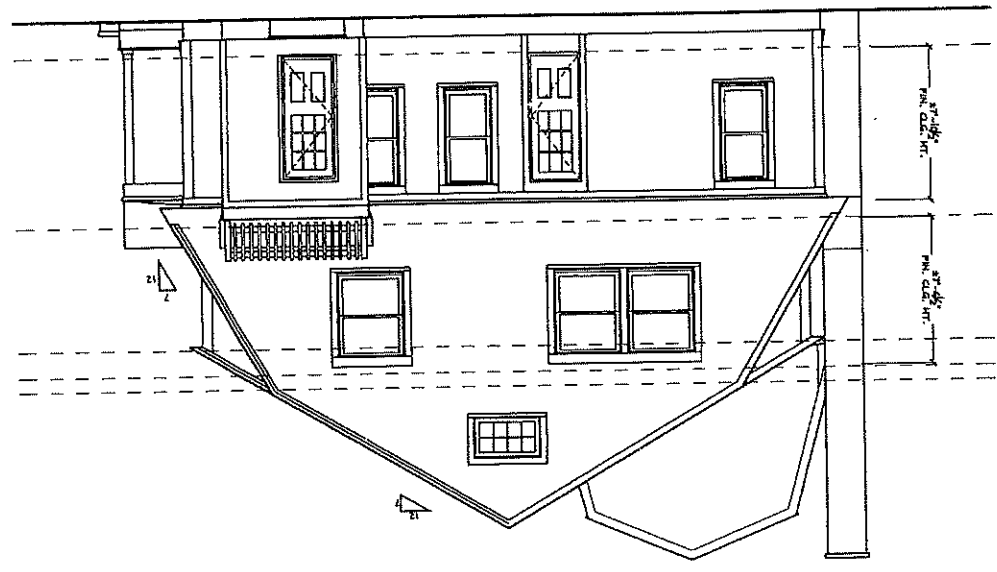
DESIGNER: NORTHSIDE DESIGN ASSOCIATES  
 100 WASHINGTON STREET, SUITE 200, NORTH ANDOVER, MA 01854  
 (978) 351-1212  
 NORTHANDOVER@NORTHSIDEDESIGN.COM

BUILDER:

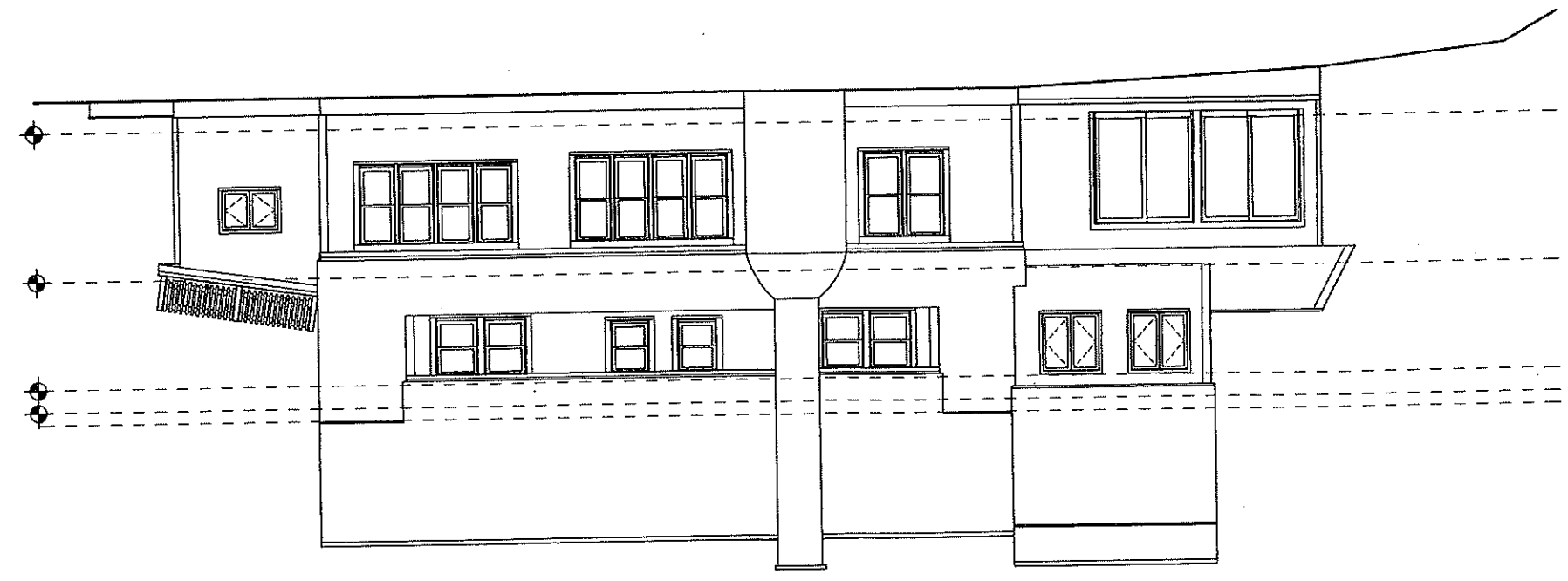
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NO.	REVISION	DATE

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LEFT ELEVATION



REAR ELEVATION

## Historical Commission Abutter List for Subject Parcel 206069

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
186047	EFTIMIADES, MARIA		18 SYLVAN LANE		SAG HARBOR	NY	11963
186048	SCHMEGNER, EDMUND E & LORRAINE M TRS	EDMUND E SCHMEGNER LIVING TRUST	556 SO MAIN ST		CENTERVILLE	MA	02632
186049	KAZLAS, NINA & PETER T		29 PILGRIMS PATH		SUDBURY	MA	01776
186050	DOUGHERTY, DALE A & DOUGHERTY, DAVID A		192 NINIGRET AVE		MASHPEE	MA	02649
186078	KANARICK, WILLIAM B		571 SOUTH MAIN STREET		CENTERVILLE	MA	02632
186079	DESROCHES, AMANDA I		16 RIVER ROCK WAY		WAYLAND	MA	01778
187043	CRAWFORD, JOSEPH BARRY&CAROLYN LOUISE TR	JOSEPH BARRY&CAROLYN LOUISE CRAWFORD JLT	530 SOUTH MAIN ST		CENTERVILLE	MA	02632
206061	MCCARTHY, MAGGIE M		53 GRAND CENTRAL AVENUE		AMITYVILLE	NY	11701
206062	BARBER, PAUL T & MELINA C		498 SOUTH MAIN STREET		CENTERVILLE	MA	02632
206063	LAVINDER, KATHY TR	THE LAVINDER -DORAN TRUST A	106 CAMPING RIDGE		NELLYSFORD	VA	22958
206064	JACKSON, STEPHEN R TR	THE JANE M JACKSON TRUST	295A SOLON RD		CHAGRIN FALLS	OH	44022
206066	KOURI, JOSHUA & ALEXIS HRYNKO		45 HORNBEAM LANE		CENTERVILLE	MA	02632
206067	JACKSON, STEPHEN R TR	THE JANE M JACKSON TRUST	295A SOLON ROAD		CHAGRIN FALLS	OH	44022

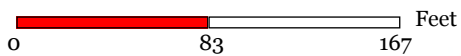
Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
206068	OLIVA, LORRAINE E TR	%SIMPSON, TERRY L TR	65 THE HEIGHTS		MASHPEE	MA	02649
206069	SIMPSON, TERRY L TR	BLUMIST TRUST	15102 BESTOR BOULEVARD		PACIFIC PALISADES	CA	90272
206070	WOODRING, STUART D & HEATHER D		31 STONEYMEAD WAY		ACTON	MA	01720
206071	WELLS, KIM B & BONNIE K		208 RUNNING RIDGE ROAD		LAWRENCE	KS	66049
206095	AGNOLI, DONALD G & MARGARET TRS	DONALD G & MARGARET S AGNOLI REV TRUSTS	32 WILD GROVE LANE		LONGMEADOW	MA	01106
206111	WURFBAIN, ELIZABETH NEWELL		P O BOX 71		WEST HYANNISPORT	MA	02672

### Legend

Road Names



Map printed on: 10/15/2021



Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



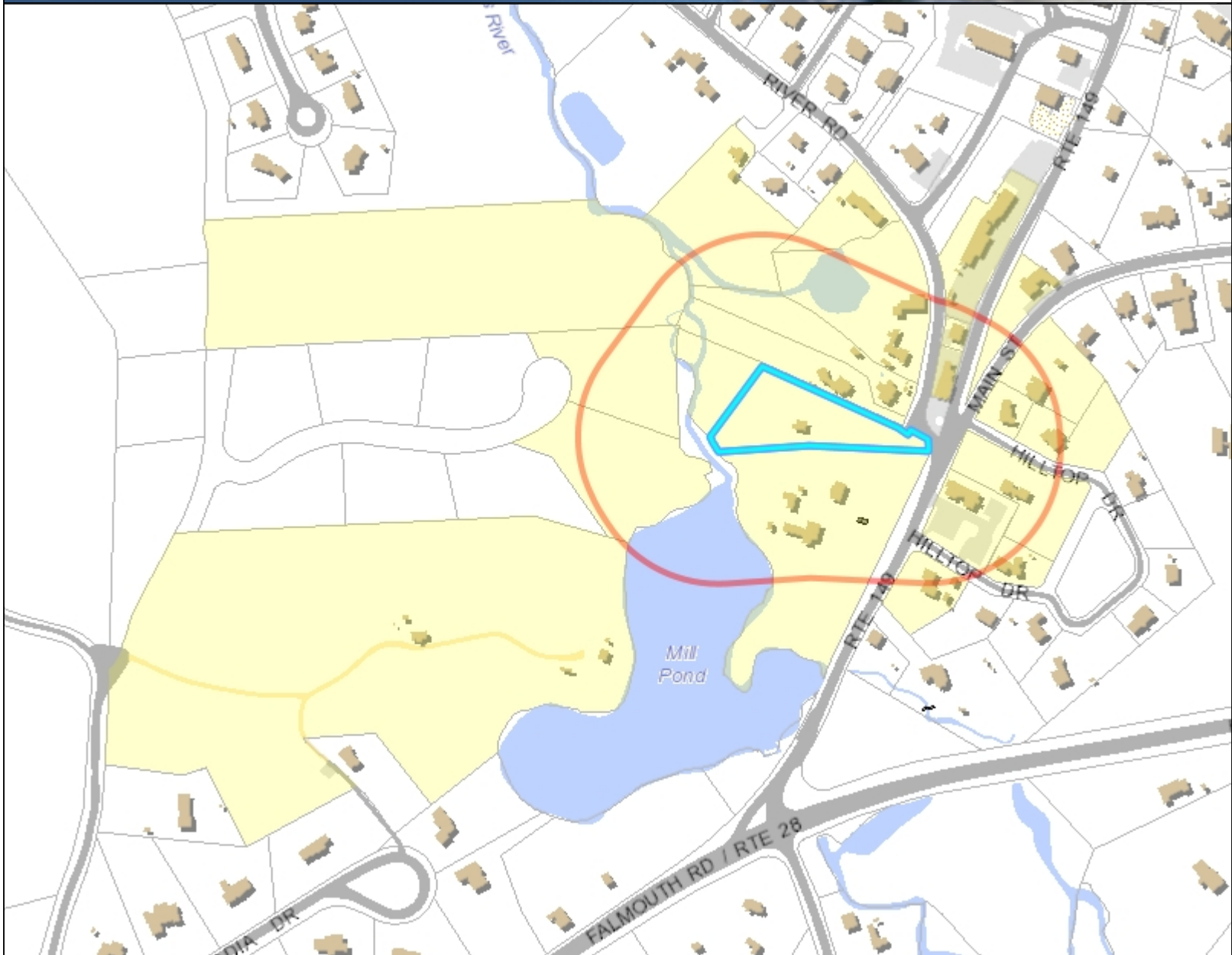
**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

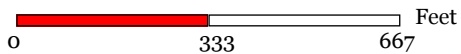




### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Parking Lots
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - ▨ Bridge
  - Paved Median
- Water Bodies

Map printed on: 10/15/2021



Approx. Scale: 1 inch = 333 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

# Historical Commission Abutter Map for Subject Parcel 077008

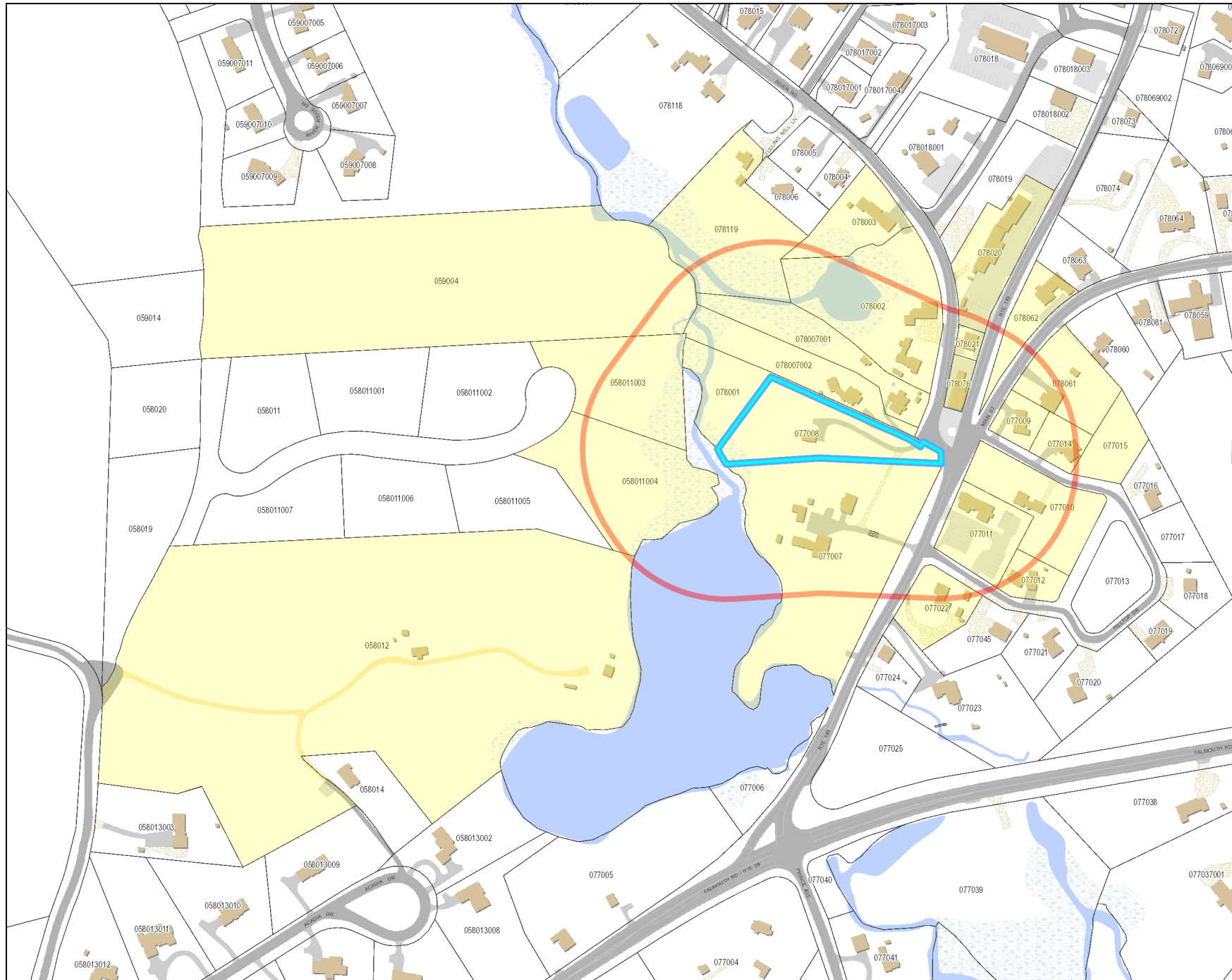
All property owners within 300 feet of the subject property's boundaries

## Town of Barnstable GIS Unit

gis@town.barnstable.ma.us

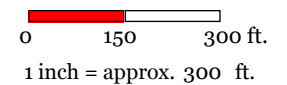
### Legend

- Subject Parcel
- Abutters
- 300 ft. Buffer
- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Buildi
- Buildings
- Parking Lots
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Water Bodies



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Printed on: 10/7/2021

Parcel: 077-008

Location: 91 ROUTE 149, Marstons Mills

Owner: ROBINSON, BETH A



Parcel  
077-008

Location  
91 ROUTE 149

Village  
Marstons Mills

Town sewer account  
No

CWMP Sewer Expansion (subject to change with final engineering design)  
Phase 1 (0-10 years)

Developer lot:  
LOT A

Road type  
Town

Fire district  
C-O-MM

Secondary road

Road index  
1391

Interactive map



Asbuilt septic scan

[077008\\_1](#), [077008\\_2](#), [077008\\_3](#)

Owner: ROBINSON, BETH A

Owner ROBINSON, BETH A	Co-Owner %ROBINSON, BETH A ESTATE OF	Book page 32837/0256
Street1 PO BOX 91	Street2	
City MARSTONS MILLS	State MA	Zip 02648
		Country

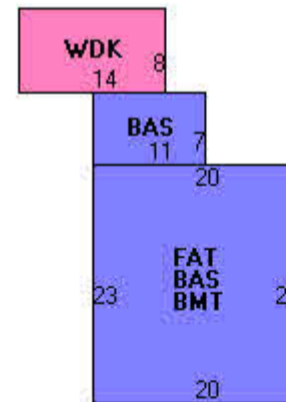
Land

Acres 1.03	Use Single Fam M-01	Zoning RF	Neighborhood 0106
Topography Above Street	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor Lake/Pond Front,Marginal View,Rear Location	State Zone of Contribution OUT	

Construction

Building 1 of 1

Year built 1774	Roof structure Gable/Hip	Heat type Floor Furnace
Living area 606	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 1569	Exterior wall Clapboard	AC type None
Style Cape Cod	Interior wall Plastered	Bedrooms 1 Bedroom
Model Residential	Interior floor Hardwood	Bath rooms 1 Full-0 Half
Grade Average	Foundation	Total rooms 3 Rooms
Stories 1.15		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
09/24/2019	Sid/Wind/Roof/Door	19-3139	\$4,800		Repair Roof
05/27/1998	Addition	31214	\$150,000	08/08/2001	VOID/VOID
10/24/1997	Remodel	26555	\$31,000	06/02/2000	

Sale History

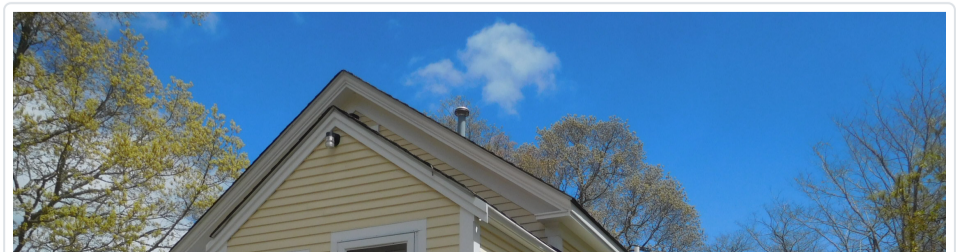
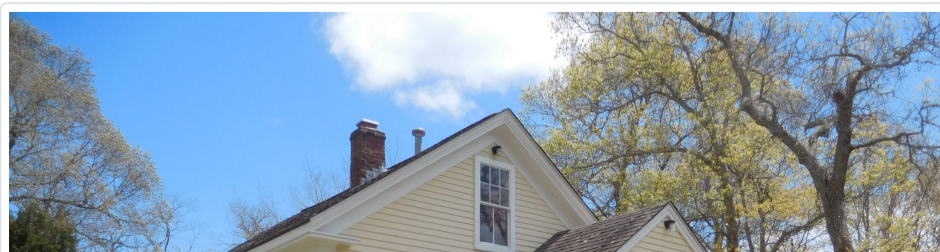
Line	Sale Date	Owner	Book/Page	Sale Price
1	06/30/2021	ZOLA, JOHN & DAWN M SABO-	34260/236	\$379,000
2	02/21/2021	ROBINSON, BETH A ESTATE OF	34260/230	\$0
3	04/17/2020	ROBINSON, BETH A	32837/0256	\$162,500
4	06/19/1996	INGRAM, BARBARA L	10261/0128	\$60,193
5	12/02/1993	HIGGINS, BRIGGIA ESTATE OF	0000/0000	\$0

5	12/02/1993	HIGGINS, PRISCILLA ESTATE OF	8923/0318	\$0
<b>Line</b>	<b>Sale Date</b>	<b>Owner</b>	<b>Book/Page</b>	<b>Sale Price</b>
6	12/09/1954	HIGGINS, PRISCILLA	0894/0096	\$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$79,000	\$15,300	\$1,800	\$140,500	\$236,600
2	2020	\$72,800	\$13,300	\$1,500	\$142,900	\$230,500
3	2019	\$63,100	\$13,300	\$1,600	\$142,900	\$220,900
4	2018	\$52,400	\$13,300	\$1,600	\$156,800	\$224,100
5	2017	\$49,000	\$13,800	\$1,600	\$156,800	\$221,200
6	2016	\$49,000	\$13,800	\$1,600	\$152,800	\$217,200
7	2015	\$56,500	\$15,400	\$2,000	\$153,900	\$227,800
8	2014	\$56,500	\$15,400	\$2,100	\$153,900	\$227,900
9	2013	\$56,500	\$15,400	\$2,100	\$200,700	\$274,700
10	2012	\$57,800	\$15,100	\$1,700	\$192,400	\$267,000
11	2011	\$68,100	\$3,100	\$0	\$192,400	\$263,600
12	2010	\$68,100	\$3,100	\$0	\$186,200	\$257,400
13	2009	\$82,800	\$2,600	\$0	\$194,200	\$279,600
14	2008	\$86,000	\$2,600	\$0	\$229,300	\$317,900
16	2007	\$85,500	\$2,600	\$0	\$229,300	\$317,400
17	2006	\$75,200	\$2,600	\$0	\$226,100	\$303,900
18	2005	\$69,900	\$2,400	\$0	\$172,300	\$244,600
19	2004	\$63,000	\$2,400	\$0	\$172,300	\$237,700
20	2003	\$50,700	\$2,400	\$0	\$69,600	\$122,700
21	2002	\$50,700	\$2,400	\$0	\$69,600	\$122,700
22	2001	\$50,700	\$2,400	\$0	\$69,600	\$122,700
23	2000	\$12,000	\$1,700	\$100	\$45,300	\$59,100
24	1999	\$12,000	\$1,700	\$100	\$45,300	\$59,100
25	1998	\$12,000	\$1,700	\$100	\$45,300	\$59,100
26	1997	\$21,300	\$0	\$0	\$38,300	\$59,800
27	1996	\$21,300	\$0	\$0	\$38,300	\$59,800
28	1995	\$21,300	\$0	\$0	\$38,300	\$59,800
29	1994	\$24,000	\$0	\$0	\$51,700	\$75,900
30	1993	\$24,000	\$0	\$0	\$51,900	\$76,100
31	1992	\$27,300	\$0	\$0	\$57,600	\$85,100
32	1991	\$37,600	\$0	\$0	\$70,300	\$108,100
33	1990	\$37,600	\$0	\$0	\$70,300	\$108,100
34	1989	\$37,600	\$0	\$0	\$70,300	\$108,100
35	1988	\$24,800	\$0	\$0	\$27,600	\$52,800
36	1987	\$24,800	\$0	\$0	\$27,600	\$52,800
37	1986	\$24,800	\$0	\$0	\$27,600	\$52,800

Photos





# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	BRN.663
<b>Historic Name:</b>	Hinckley, Nathaniel House
<b>Common Name:</b>	
<b>Address:</b>	91 Cotuit Rd Route 149
<b>City/Town:</b>	Barnstable
<b>Village/Neighborhood:</b>	Marstons Mills
<b>Local No:</b>	6
<b>Year Constructed:</b>	c 1830
<b>Architect(s):</b>	
<b>Architectural Style(s):</b>	Greek Revival; No style
<b>Use(s):</b>	Single Family Dwelling House
<b>Significance:</b>	Architecture
<b>Area(s):</b>	BRN.AK: Marstons Mills Center
<b>Designation(s):</b>	
<b>Building Materials(s):</b>	Roof: Asphalt Shingle Wall: Wood; Wood Clapboard Foundation: Concrete Unspecified



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

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Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Friday, October 15, 2021 at 10:42 AM

BRN 643

**FORM B - BUILDING**

**MASSACHUSETTS HISTORICAL COMMISSION**  
80 BOYLSTON STREET, BOSTON, MA 02116

AREA MMA <u>AK</u>	FORM NO. <u>6 663</u>
-----------------------	--------------------------

*USGS Land*



Barnstable (Marstons Mills Center)  
91 Cotuit Road (Rte 149)  
Nathaniel Hinckley House Ell

Present dwelling

Original dwelling

**DESCRIPTION:**

c. 1830

County Registry

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.

Style vernacular cottage

Architect unknown

Exterior wall fabric clapboard

Outbuildings none

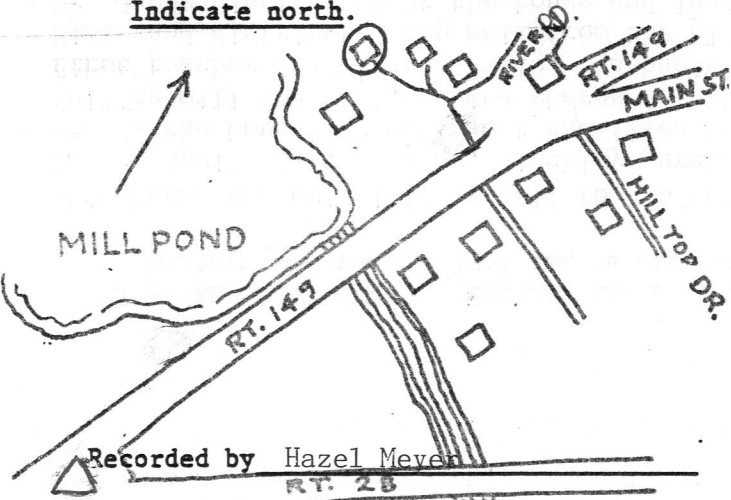
Major alterations (with dates)

none

Moved yes Date 1912, 1957

Approx. acreage 1.03

Setting residential village area



Recorded by Hazel Meyer  
RT. 28

Organization Barnstable Historical Comm

Date 1983, revised 1985

Photo #57-21-A6

(Staple additional sheets here)

**ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)**

This is a small 1½ story wood frame structure facing gable end to the street. Its facade is focused on a side entry with narrow sidelights and bracketed hood. Windows have simple frames and contain 6/2 sash. A double window of 4/4 sash is located in the gable.

**HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)**

This house was originally an ell of the Nathaniel Hinckley House. The house was built before April 1832, when Mr. Hinckley purchased "the right and title to the land on which stands the house" from Clement and Allen Marston. Mr. Hinckley owned and operated the fulling mill (MMA-11), buying shares in 1829 and 1832. His wife, Ann J. Hinckley was schoolteacher in Marstons Mills. Nathaniel Hinckley was the first postmaster in Marstons Mills and distributed the mail from the ell attached to his house. Dr. James Higgins bought the house and land from AnnHinckley, widow, in 1906 with provisions she could remain in her home. When Mrs. Hinckley died in 1910 the main house was moved north on Cotuit Rd. (MMA-14) and the ell was moved across the road to the Higgins property to serve as an office for Dr. Higgins (MMA-4). At this time the land was incorporated into the Higgins property. River Rd. stopped at the Cash Market and the cross road between Cotuit Rd. and River Rd. became a village square.

**BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)**

Barnstable County Atlases. 1858, 1880, 1907.  
Town Assessors Map: 78/8  
The Seven Villages of Barnstable. 1976.  
Oral History: Miss Priscilla Higgins, Cotuit Rd., Marstons Mills 1983  
Barnstable County Registry of Deeds.





**TOWN OF BARNSTABLE**  
**Planning & Development Department**  
**Barnstable Historical Commission**  
[www.town.barnstable.ma.us/historicalcommission](http://www.town.barnstable.ma.us/historicalcommission)

Town Clerk Stamp

**NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING**

Date of Application 9/21/2021  Full Demotion  Partial Demolition

Building Address: 91 ROUTE 149  
Number Street

MARSTONS MILLS 02648 Assessor's Map # 077 Assessor's Parcel # 008  
Village ZIP

Property Owner: JOHN ZOLA 508-280-8597  
Name Phone#

Property Owner Mailing Address (if different than building address) \_\_\_\_\_

Property Owner e-mail address: JOHN.Z.DAWNZ@COMCAST.NET

Contractor/Agent: COTUIT BAY DESIGN, LLC STEVE COOK

Contractor/Agent Mailing Address: 43 BREWSTER ROAD MASHPEE, MA 02649

Contractor/Agent Contact Name and Phone #: STEVE COOK 508-274-1166  
Name Phone #

Contractor/Agent Contact e-mail address: STEVE@COTUITBAYDESIGN.COM

**Demolition Proposed - please itemize all changes:**

WINDOWS, DOORS AND REMOVAL OF A WALL SEGMENT ON RIGHT SIDE FOR ATTACH

Type of New Construction Proposed: 2 STORY ADDITION WITH A TWO STORY GARAGE ATTACHED TO EXISTING HOUSE

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1774 Additions Year Built: ?

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?  
 No  Yes

Steve Zola  
 Property Owner/Agent Signature

**BARNSTABLE HISTORICAL COMMISSION**  
**NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING**  
**Application Requirements Checklist**

**Application Hard Copies – 2 Copies** Complete all sections of the application and checklist. Clock two copies of the application and supporting documents with the Town Clerk at 367 Main Street, Hyannis, 1<sup>st</sup> Floor. The Town Clerk will retain one copy, the second clocked copy should be brought to the Planning & Development office on the 3<sup>rd</sup> Floor (367 Main Street, Hyannis)

**Application Electronic Copy** - Email the application & supporting documents to [erin.logan@town.barnstable.ma.us](mailto:erin.logan@town.barnstable.ma.us)

**Supporting Documents – 2 Copies - all plans should be on 11"X17" paper only**

**Project narrative**                      Detail of demolition proposed; type of new construction proposed; options explored other than demolition; a detailed explanation as to why demolition or partial demolition is necessary; any other information that will help the Commission understand the proposed project

**Photographs**                              Include photos of:  
Each elevation where demolition is proposed  
Structure from all abutting streets

**Site Plan**                                      A plan showing:  
All structures on the lot  
All proposed demolition, additions or changes to those structures  
Existing & Proposed structure footprint

**Elevations**                                      **Partial Demolitions Only** - Detailed elevations of all building facades outlining existing and proposed. An existing floor plan must be included highlighting the areas to be demolished.

**Reports (Optional)**                              **Full Demolitions Only** -Provide any expert reports including but not limited to; structural analysis, mold report, Flood reports; **Full or Partial Demo** - Cape Cod Commission Comments (for properties on the National Register)

**\$100 Filing Fee**                                      \$100 fee shall be submitted with the application. Check made payable to the Town of Barnstable.

**\$39.68 Advertising Fee**                                      The applicant shall pay the cost of the required two advertisements in the local newspaper. On a separate check, made payable to the Town of Barnstable.

**Postage Stamps**                                      First class postage stamps are required for abutter notification. Please contact Commission support staff for the number of stamps required.

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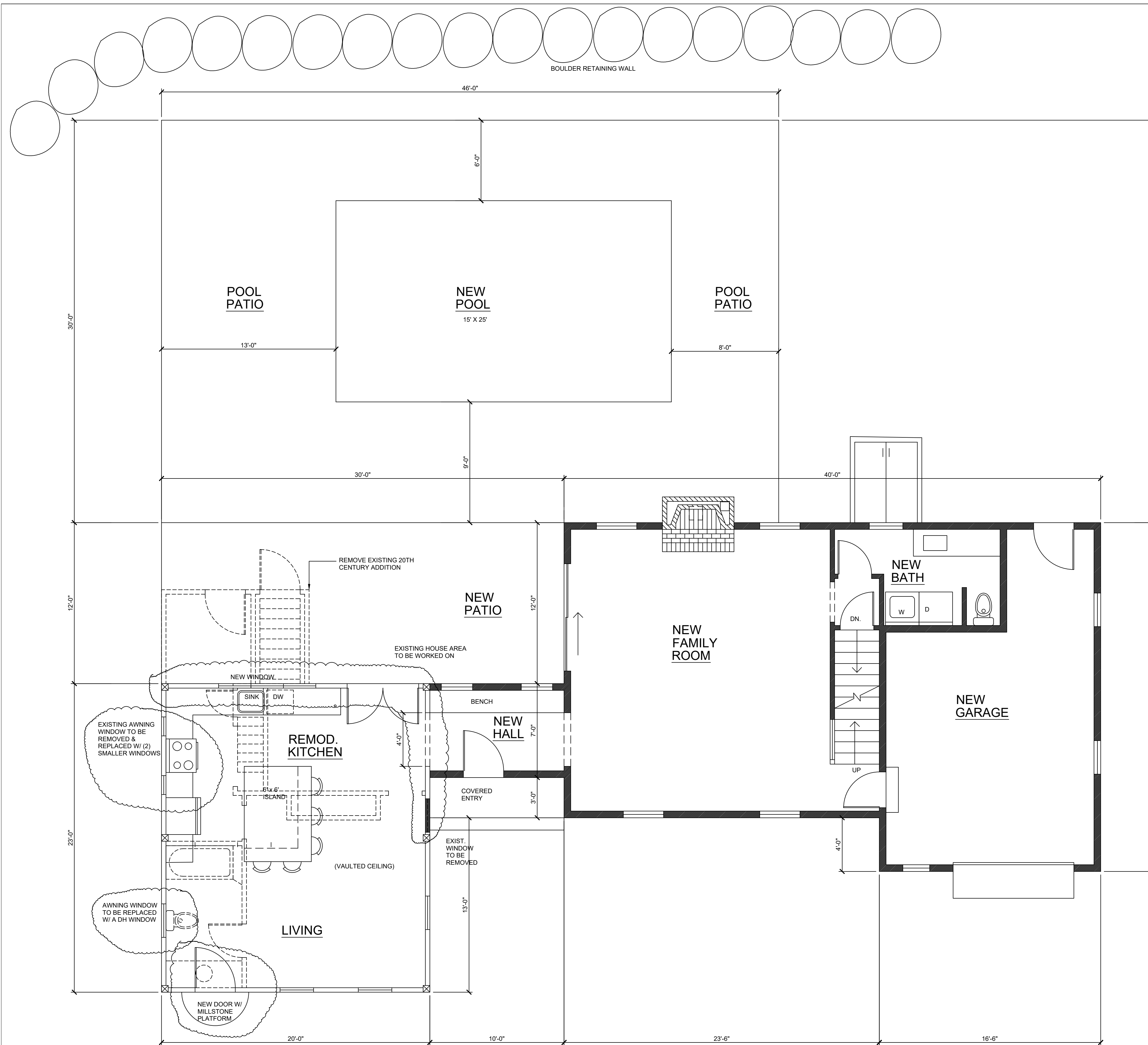
This application will not be placed on an agenda until the application is determined to be complete based on all of the above required information.

## Historical Commission Abutter List for Subject Parcel 077008

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
058011003	BARNSTABLE, TOWN OF (LB)		200 MAIN STREET		HYANNIS	MA	02601
058011004	BARNSTABLE, TOWN OF (LB)		200 MAIN STREET		HYANNIS	MA	02601
058012	WEBSTER, KENNETH A JR&KENNETH A SR &	BARBARA M & JOANN	PO BOX 136		MARSTONS MILLS	MA	02648
059004	BARNSTABLE, TOWN OF (LB)		367 MAIN STREET		HYANNIS	MA	02601
077007	MASON MANN FAMILY LLC		91 HILL ROAD		TROY	NY	12180
077008	ROBINSON, BETH A	%ROBINSON, BETH A ESTATE OF	PO BOX 91		MARSTONS MILLS	MA	02648
077009	SANTOS, LAURA A	%GEARIN, THOMAS F	2185 MAIN STREET		MARSTONS MILLS	MA	02648
077010	DICK, LARRY D & WINIFRED M		309 JUDITH ANN DRIVE		SCHERTZ	TX	78154
077011	2 BBN LLC	C/O MARION KHOURI	92 INDUSTRIAL DRIVE		MASHPEE	MA	02649
077012	BUZZELL, MICHELLE & PETER		24 HILLTOP DRIVE		MARSTONS MILLS	MA	02648
077014	EUSTIS, CAROL A		PO BOX 184		MARSTONS MILLS	MA	02648
077015	SEYFFERT, ANNE M TR	FISH ON REALTY TRUST	PO BOX 1464		MARSTONS MILLS	MA	02648
077022	MCCLUSKY, ROBERT FRANK & MIKOLS, GLENN S		PO BOX 123		MARSTONS MILLS	MA	02648
078001	ROBINSON, BETH A	%ROBINSON, BETH A ESTATE OF	PO BOX 91		MARTSONS MILLS	MA	02648

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
078002	O'TOOLE, JASON A		4309 FALMOUTH ROAD		COTUIT	MA	02635
078003	BARRY, KEVIN F TRUSTEE	%BARRY, KEVIN F	55 RIVER ROAD	P O BOX 96	MARSTONS MILLS	MA	02648
078007001	MILLER, DAVID & MCCARTHY, KERRY		PO BOX 553		MARSTONS MILLS	MA	02648
078007002	LOVELAND, GALE G		PO BOX 1465		MARSTONS MILLS	MA	02648
078020	MAHAIRAS, NICK I & ROBIN H TRS	VERNON REALTY TRUST	213 MISTIC DRIVE		MARSTONS MILLS	MA	02648
078021	MAZZ 5 LLC		119 ROUTE 149		MARSTONS MILLS	MA	02648
078061	IZZO, JOSEPH & ERIN		2173 MAIN STREET		MARSTONS MILLS	MA	02648
078062	MARSTONS MILLS PBLIC LIBRY		MAIN STREET		MARSTONS MILLS	MA	02648
078076	SAEED, MIAN M TR	ASIFA REALTY TRUST	105 ROUTE 149		MARSTONS MILLS	MA	02648
078119	HARPER, ROBERT C & CAROLE A		P O BOX 1361		MARSTONS MILLS	MA	02648



### FIRST FLOOR PLAN

#### LEGEND:

- EXISTING WALLS
- CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION

#### AREA CALCULATIONS

EXISTING CIRCA 1800's HOUSE	460 S.F.
20TH CENTURY ADDITION	77 S.F.
FIRST FLOOR/GARAGE	1016 S.F.
SECOND FLOOR	929 S.F.

**COTUIT BAY DESIGN, LLC**  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166  
 FAX (508) 539-9402

**NEW ADDITIO/REMODELING FOR:**  
**ZOLA RESIDENCE**  
**91 ROUTE 149 MARSTONS MILLS, MA**

THE DESIGNER SHALL BE NOTIFIED IF ANY  
 CONSTRUCTION, THE BUILDING CONTRACTOR  
 COMMENCES WITHOUT NOTIFYING THE  
 THESE DRAWINGS ARE SOLELY FOR THE USE  
 OF THE OWNER NOTED. ANY OTHER USE OF  
 THESE DRAWINGS REQUIRES THE WRITTEN  
 ARCHITECTURAL COPYRIGHT PROTECTION  
 ACT OF 1990.

**SCALE :**  
 1/4" = 1'-0"

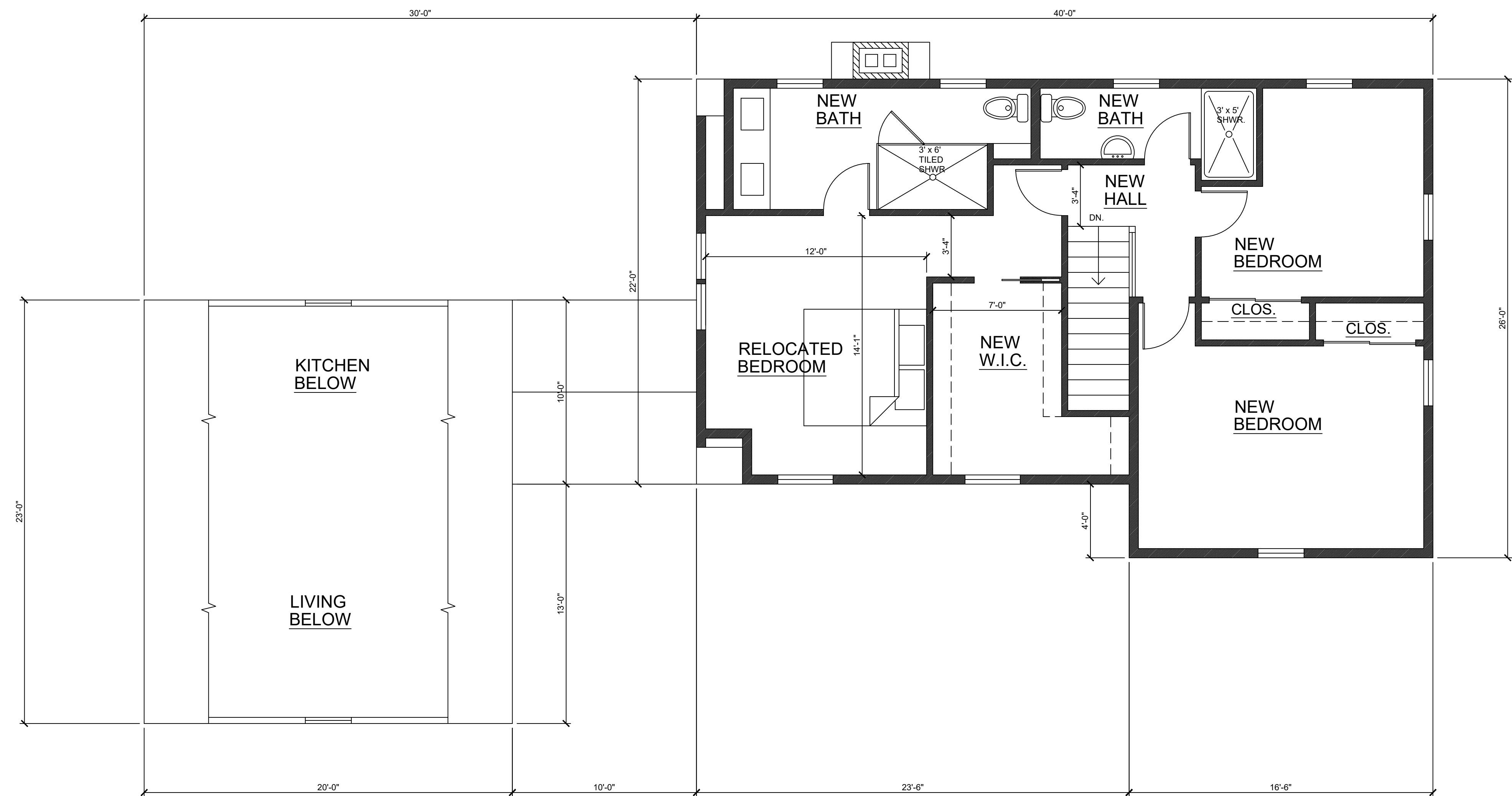
**DATE :**  
 10/5/2021

**DRAWING NO. :**

**A1**



**FRONT ELEVATION**



**FIRST FLOOR PLAN**

**LEGEND:**

- EXISTING WALLS
- CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION

**COTUIT BAY DESIGN, LLC**  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166  
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**NEW ADDITIO/REMODELING FOR:**  
**ZOLA RESIDENCE**  
**91 ROUTE 149 MARSTONS MILLS, MA**

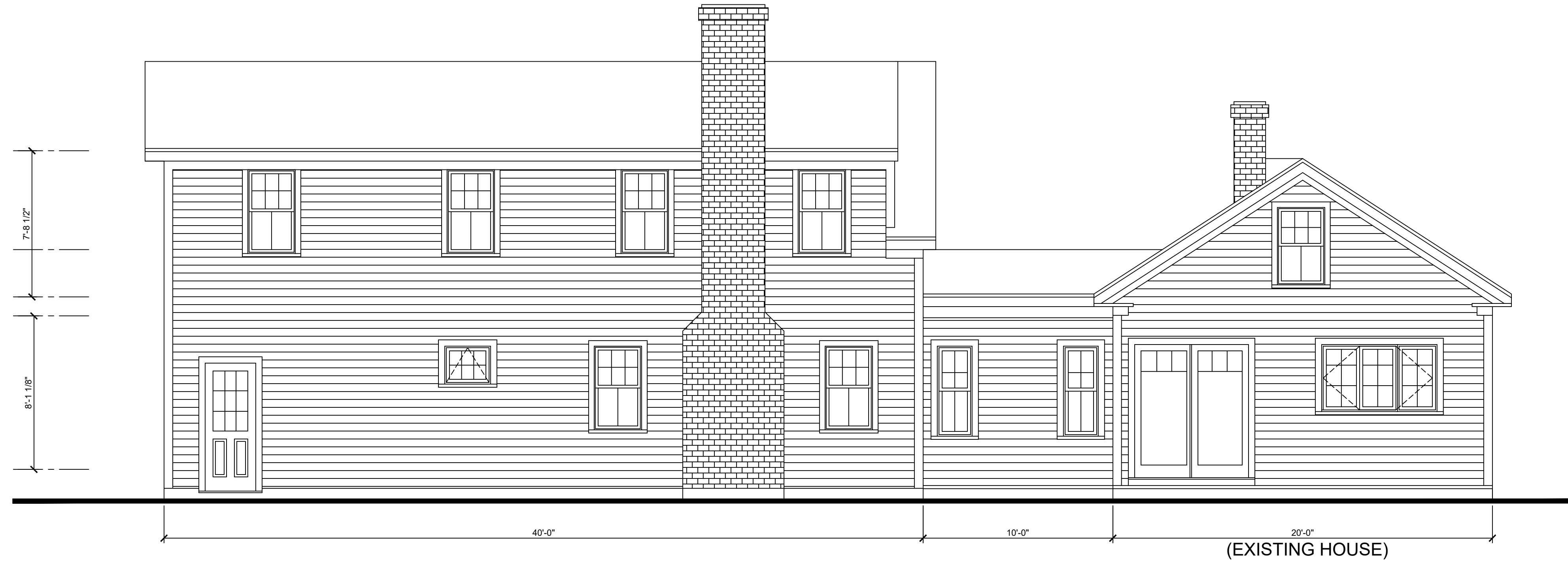
THE DESIGNER SHALL BE NOTIFIED IF ANY  
 CONSTRUCTION, THE BUILDING CONTRACTOR  
 COMMENCES WITHOUT NOTIFYING THE  
 THESE DRAWINGS ARE SOLELY FOR THE USE  
 OF THE OWNER NOTED. ANY OTHER USE OF  
 THESE DRAWINGS REQUIRES THE WRITTEN  
 ARCHITECTURAL COPYRIGHT PROTECTION  
 ACT OF 1990.

**SCALE :**  
 1/4" = 1'-0"

**DATE :**  
 10/5/2021

**DRAWING NO. :**

**A2**



REAR ELEVATION

(EXISTING HOUSE)



RIGHT ELEVATION



LEFT ELEVATION

(EXISTING HOUSE)

COTUIT BAY DESIGN, LLC  
 43 BREWSTER ROAD  
 MASHPEE, MA 02649  
 PH. (508) 274-1166  
 FAX (508) 539-9402

NEW ADDITIO/REMODELING FOR:

ZOLA RESIDENCE  
 91 ROUTE 149 MARSTONS MILLS, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY  
 CHANGES ARE MADE TO THE DRAWINGS  
 THESE DRAWINGS PRIOR TO START OF  
 CONSTRUCTION. THE BUILDING CONTRACTOR  
 SHALL BE RESPONSIBLE FOR VERIFYING  
 IN THESE DRAWINGS IF CONSTRUCTION  
 COMMENCES WITHOUT NOTIFYING THE  
 DESIGNER. THESE DRAWINGS ARE SOLELY FOR THE USE  
 OF THE OWNER. ANY OTHER USE OF  
 THESE DRAWINGS REQUIRES THE WRITTEN  
 ARCHITECTURAL COPYRIGHT PROTECTION  
 ACT OF 1990.

SCALE :  
 1/4" = 1'-0"

DATE :  
 10/5/2021

DRAWING NO. :

A3

### Legend

Road Names



Map printed on: 10/15/2021



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



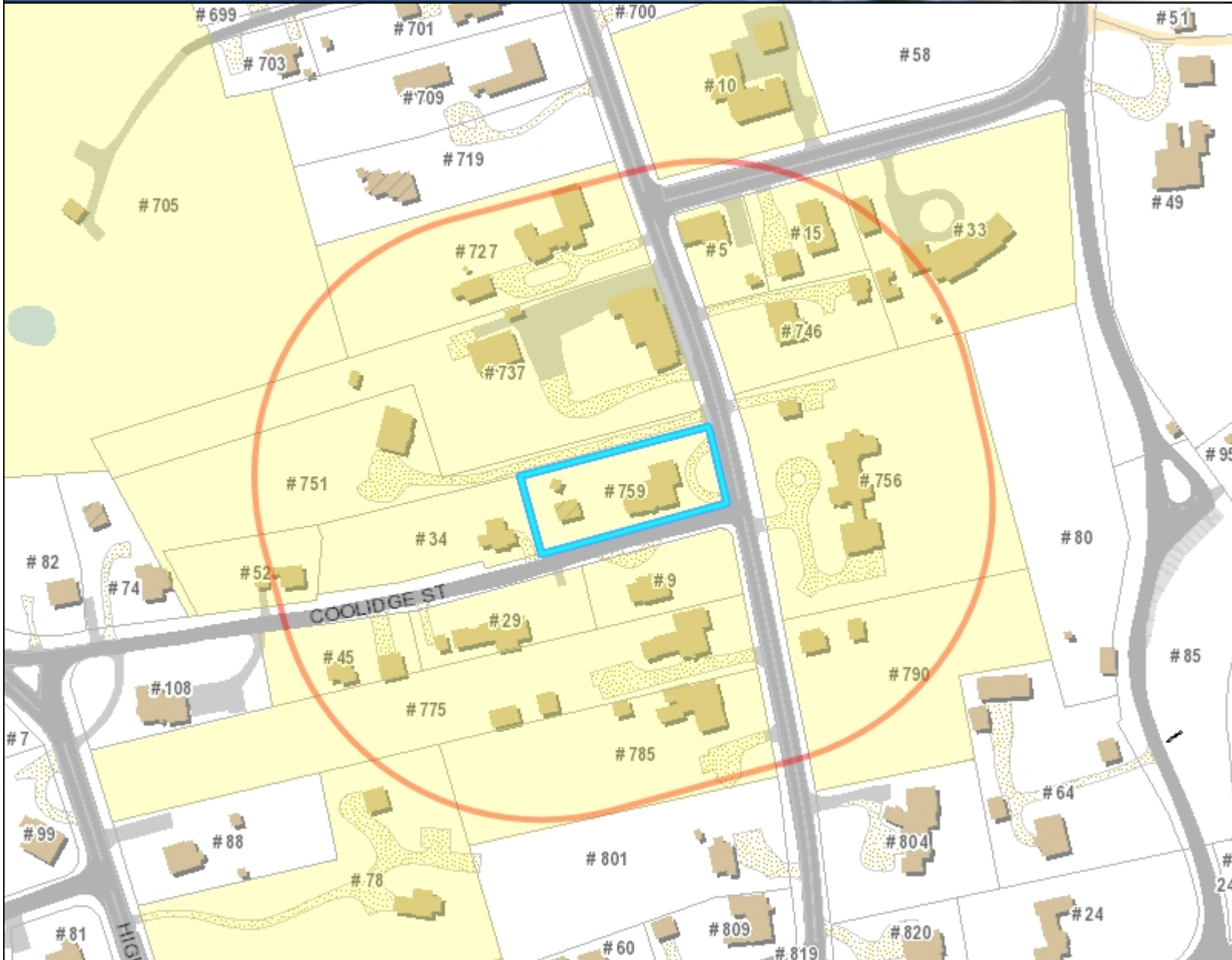
**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

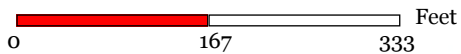




### Legend

- Parcels
- ▬ Town Boundary
- + Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - ▨ Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 10/15/2021



Approx. Scale: 1 inch = 167 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Parcel: 036-006      Location: 759 MAIN STREET (COTUIT), Cotuit      Owner: BERKEY, SCOTT A & PATRICIA A



Parcel 036-006	Developer lot: LOTS C & UN	Secondary road COOLIDGE STREET
Location 759 MAIN STREET (COTUIT)	Road type Town	Road index 0951
Village Cotuit	Fire district Cotuit	Interactive map 
Town sewer account No		
CWMP Sewer Expansion (subject to change with final engineering design) Stage 2		

Asbuilt septic scan  
[036006\\_1](#)

Owner: BERKEY, SCOTT A & PATRICIA A

Owner BERKEY, SCOTT A & PATRICIA A	Co-Owner	Book page 24399/0342
Street1 759 MAIN STREET	Street2	
City COTUIT	State Zip Country MA 02635	

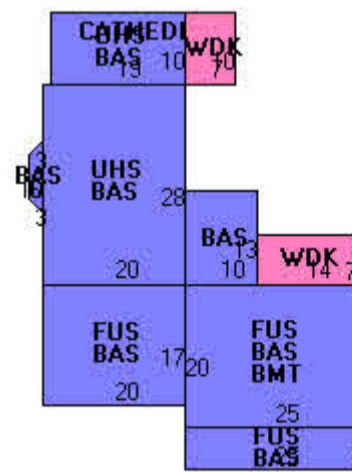
Land

Acres 0.45	Use Single Fam M-01	Zoning RF	Neighborhood 0112
Topography Level	Street factor Paved	Town Zone of Contribution WP (Wellhead Protection Overlay District)	
Utilities Septic,Gas,Public Water	Location factor	State Zone of Contribution IN	

Construction

Building 1 of 1

Year built 1863	Roof structure Gable/Hip	Heat type Hot Water
Living area 2876	Roof cover Asph/F Gls/Cmp	Heat fuel Gas
Gross area 4294	Exterior wall Wood Shingle, Clapboard	AC type Central
Style Conventional	Interior wall Plastered	Bedrooms 4 Bedrooms
Model Residential	Interior floor Pine/Soft Wood	Bath rooms 2 Full-0 Half
Grade Luxury	Foundation	Total rooms 9
Stories 2		



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
01/02/2019	Solar Panel-Res	18-4124	\$34,918	06/30/2019	Install Additional (17) solar Modules to ass to existing solar array. At storage battery wittl be installed, permitted separately
12/04/2018	Sid/Wind/Roof/Door	18-3912	\$2,400	06/30/2019	Window replacement
02/22/2016	Addn Alt-Res	2016-0247	\$16,800	08/18/2016	TO FINISH 2ND FLOOR OF GARAGE & ADD BATH 2ND FL TO BE USED AS EXERCISE ROOM
10/06/2015	Solar PV System	201506155	\$14,400	12/10/2015	ROOFTOP PV SOLAR INSTALLATION WITH 16 SOLAR PANELS 4.8 KW
10/09/2014	Detached Garage	201406524	\$52,000	07/01/2015	CONSTRUCT A 2 CAR DETACHED GARAGE WITH 2ND FLOOR UNFINISHED AND MOVE SHED UNFINISHED
06/10/2013	Insulation	201303524	\$2,345	06/30/2013	INSULATE
01/24/2013	Remodel-Addition	201300234	\$25,000	06/30/2014	ADD BTH 9' SLIDER-BID WALLS-FRESHGL REAR

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
03/21/2011	Out Building	201101464	\$0	06/30/2011	10X12 SHD
06/28/2010	Swimming Pool	201003062	\$30,000	12/09/2010	18X34 GUNITE W FENCE
06/23/2010	Remodel	201002504	\$40,000	12/09/2010	DEMO CLOSED IN PRCH & REBLD KIT 10'6" X 20; TO RELOCATE 11X17 SHED
04/27/2010	Other	201001953	\$22,500	06/30/2010	REPL 29 WINDOWS UV .30
07/13/2007	New Roof	200704317	\$5,000	06/30/2008	REROOF STRIPPING OLD

▼ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	03/05/2010	BERKEY, SCOTT A & PATRICIA A	24399/0342	\$870,000
2	07/02/2009	ADAMS, ANELIA	23860/0142	\$0
3	04/30/2001	ADAMS, JAMES R & ANELIA	13780/0021	\$1
4	03/01/1994	ADAMS, JAMES R TR	9137/0013	\$1
5	06/03/1987	ADAMS, JAMES R TR	5759/0261	\$100
6	07/23/1986	ADAMS, JAMES R	5206/0172	\$227,500
7	07/23/1986	BAILEY, CHARLES W JR & ANN T	5206/0169	\$0
8	12/15/1982	BAILEY, CHARLES W JR & ANN T	3619/0121	\$95,000

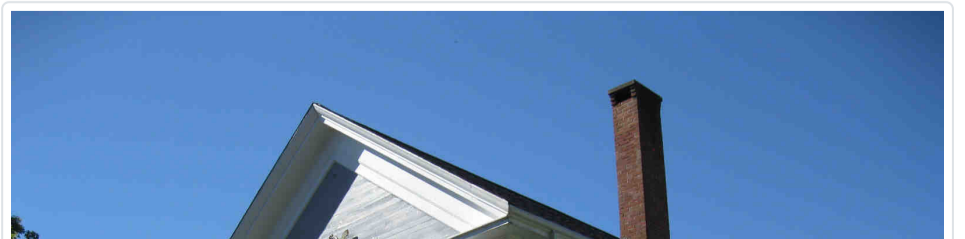
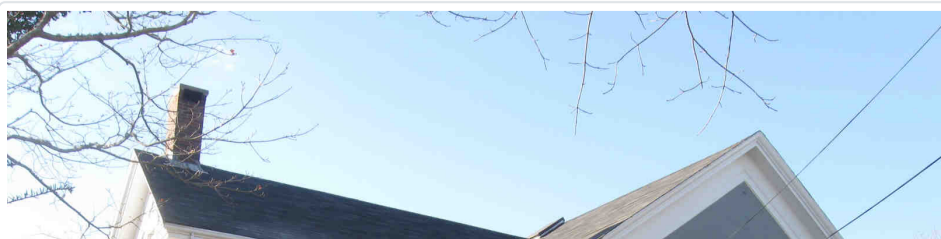
▼ Assessment History

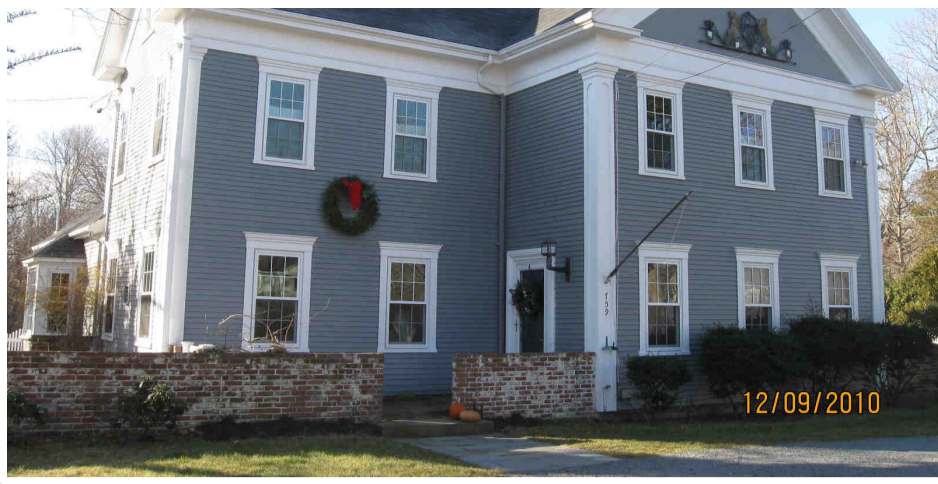
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$660,300	\$26,000	\$115,200	\$418,900	\$1,220,400
2	2020	\$613,800	\$24,400	\$103,800	\$418,900	\$1,160,900
3	2019	\$496,800	\$24,400	\$107,100	\$439,900	\$1,068,200
4	2018	\$370,400	\$24,400	\$108,900	\$418,900	\$922,600
5	2017	\$364,700	\$24,900	\$82,500	\$418,900	\$891,000
6	2016	\$350,700	\$24,900	\$82,500	\$422,800	\$880,900
7	2015	\$387,000	\$23,800	\$39,400	\$412,900	\$863,100
8	2014	\$387,000	\$23,800	\$40,200	\$412,900	\$863,900
9	2013	\$374,300	\$23,700	\$44,800	\$412,900	\$855,700
10	2012	\$370,100	\$23,200	\$38,600	\$412,900	\$844,800
11	2011	\$381,200	\$8,600	\$3,000	\$412,900	\$805,700
12	2010	\$226,800	\$7,200	\$3,200	\$412,900	\$650,100
13	2009	\$296,200	\$2,400	\$0	\$582,600	\$881,200
14	2008	\$296,200	\$2,400	\$0	\$584,300	\$882,900
16	2007	\$295,800	\$2,400	\$0	\$584,300	\$882,500
17	2006	\$262,900	\$2,400	\$0	\$533,700	\$799,000
18	2005	\$230,100	\$2,300	\$0	\$391,000	\$623,400
19	2004	\$192,600	\$2,300	\$0	\$462,100	\$657,000
20	2003	\$195,200	\$2,300	\$0	\$182,500	\$380,000
21	2002	\$195,200	\$2,300	\$0	\$182,500	\$380,000
22	2001	\$195,200	\$2,700	\$0	\$182,500	\$380,400
23	2000	\$120,400	\$1,900	\$400	\$108,700	\$231,400
24	1999	\$120,400	\$1,900	\$400	\$108,700	\$231,400
25	1998	\$120,400	\$1,900	\$400	\$108,700	\$231,400
26	1997	\$95,700	\$0	\$0	\$101,400	\$197,600
27	1996	\$95,700	\$0	\$0	\$98,000	\$194,200

28 Save #	1995 Year	\$95,700 Building Value	\$0 XF Value	\$0 OB Value	\$98,000 Land Value	\$194,200 Total Parcel Value
29	1994	\$89,700	\$0	\$0	\$94,500	\$184,700
30	1993	\$89,700	\$0	\$0	\$94,500	\$184,700
31	1992	\$102,300	\$0	\$0	\$105,000	\$207,800
32	1991	\$144,300	\$0	\$0	\$105,000	\$250,300
33	1990	\$144,300	\$0	\$0	\$105,000	\$250,300
34	1989	\$144,300	\$0	\$0	\$105,000	\$250,300
35	1988	\$134,100	\$0	\$0	\$47,400	\$183,100
36	1987	\$134,100	\$0	\$0	\$47,400	\$183,100
37	1986	\$134,100	\$0	\$0	\$47,400	\$183,100

Photos







# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	BRN.311
<b>Historic Name:</b>	Handy, Capt. John House
<b>Common Name:</b>	Brooks, Charles House
<b>Address:</b>	759 Main St
<b>City/Town:</b>	Barnstable
<b>Village/Neighborhood:</b>	Cotuit
<b>Local No:</b>	20
<b>Year Constructed:</b>	c 1860
<b>Architect(s):</b>	
<b>Architectural Style(s):</b>	Italianate
<b>Use(s):</b>	Multiple Family Dwelling House; Secondary Dwelling House; Single Family Dwelling House
<b>Significance:</b>	Architecture
<b>Area(s):</b>	BRN.K: Cotuit Historic District BRN.N: Barnstable Multiple Resource Area BRN.AR: Cotuit Port BRN.AW: East Lowell Park
<b>Designation(s):</b>	Nat'l Register MRA (11/10/1987); Nat'l Register District (11/10/1987)
<b>Building Materials(s):</b>	Roof: Asphalt Shingle Wall: Wood; Wood Clapboard



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

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Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Friday, October 15, 2021 at 10:44 AM

BRN 311 MRA-D-11/10/87

FORM B - BUILDING

AREA	FORM NO.
CTB K/M	20 311

USGS-Cotuit

MASSACHUSETTS HISTORICAL COMMISSION  
294 WASHINGTON STREET, BOSTON, MA 02108



Barnstable (Cotuit-Cotuit Port)

Address 759 Main Street

Historic Name Capt. John Handy House

Common Name Charles Brooks House

Present dwelling, single

Original dwelling, two family

**DESCRIPTION:**

1860's

Source Santuit/Cotuit Historical Society

**SKETCH MAP**

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.

Style Italianate w/Colonial Revival alts.

Architect unknown

Exterior wall fabric clapboard

Outbuildings none

Major alterations (with dates)

wide frieze and window trim added E20th c.

Moved rear ell (?) Date

Approx. acreage .40

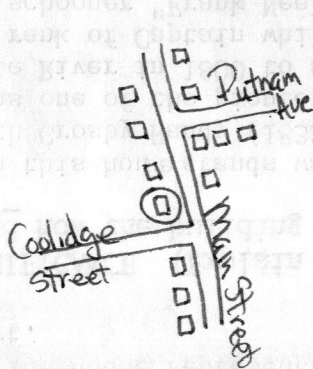
Setting residential village area

Recorded by Harriet R. Cabot

Organization Barnstable Historical Comm.

Date May 1985

Photo #82-20-B20



(Staple additional sheets here)

BRN 311



**ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)**

Upon construction, the Capt. John Handy House was a typical 2½ story Italianate style house with its entry located on the long side and a rear ell. It was trimmed with a wide cornice, corner boards treated as pilasters, and windows with projecting lintels and 2/2 sash. It was separated from the street by a handsome wooden picket fence with scalloped profile. In the early 20th century the house was updated in the currently popular Colonial Revival style. Alterations include an elaboration of the cornice along with new window surrounds and 6/6 sash. The house represents two important periods of Cotuit's history: seafaring and summer resort.

**HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)**

The land on which this house stands was bought in 1862 by Capt. John Handy (1830-1889) and his wife Elizabeth Crosby Handy (1832-1905) from his sister's husband, Capt. James Coon. Eliza's father was one of the pioneer settlers at Rushy Marsh district while John's father had come to Little River in 1800 to start shipbuilding. Capt. Handy went to sea as a boy and soon rose to rank of Captain while also becoming part owner of several vessels. One of these was the schooner "Frank Nealey" used in long coasting trips. When Capt. Handy bought this land it is thought he moved the old Crosby House there, part of which had come from Nantucket, and then a larger house was built using the old part of the ell and kitchen. The large house was then used as a two family residence, the south occupied by Capt. Handy and the north side by several different tenants through the years.

The Handy's had no children. Thus their niece Lucinda Crosby Nickerson married Benjamin Sears and came to live in the house, later inheriting it. After her death, Mr. Sears married a widow, Mrs. Amie Sturges Gifford and they resided in the house until the death of Mr. Sears. The house was then sold to Charles Gifford and he shortly afterward sold it to Mrs. Grace Brooks for a summer home. It was inherited by her son Charles for the same purpose.

(The house thus represents typical development patterns within the community: its growth as a maritime port of some prosperity in the 19th century and its subsequent growth as a quiet summer resort.

**BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)**

Barnstable County Atlases. 1858, 1880, 1907.  
Santuit/Cotuit Historical Society. Cotuit Library.

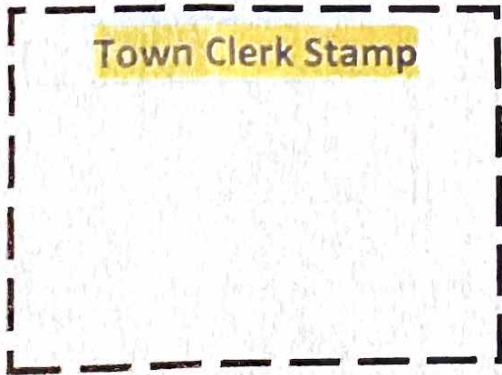
# 759 Main Street Cotuit

## Rear Dormer Proposal

Owners - Scott A. and Patricia A Berkey  
Contractor - Jim Fellows, Fellows Builders  
Architect - Brendan McNamara



**TOWN OF BARNSTABLE**  
**Planning & Development Department**  
**Barnstable Historical Commission**  
[www.town.barnstable.ma.us/historicalcommission](http://www.town.barnstable.ma.us/historicalcommission)



**NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING**

Date of Application 9/16/2021  Full Demotion  Partial Demolition

Building Address: 759 MAIN ST.  
Number Street

COTUIT MA 02635 Assessor's Map # 036 Assessor's Parcel # 036006  
Village ZIP

Property Owner: SCOTT & PATRICIA BERKEY 508 353 9705  
Name Phone#

Property Owner Mailing Address (if different than building address) PO BOX 1496  
COTUIT MA 02635

Property Owner e-mail address: berkeys@comcast.net

Contractor/Agent: JIM FELLOWS / FELLOWS BUILDERS

Contractor/Agent Mailing Address: 5 MAIN ST, MASHPEE, MA 02649

Contractor/Agent Contact Name and Phone #: JEN FELLOWS 508 976-4045  
Name Phone #

Contractor/Agent Contact e-mail address: FELLOWSBUILDING@gmail.com

**Demolition Proposed - please itemize all changes:**  
- A PORTION OF THE REAR GABLE ROOF  
TO BE DEMOLISHED TO ACCOMODATE A NEW SMALL, SHED DORMER.  
SEE ADJUSTED PHOTO ELEVATION.  
THIS DORMER WOULD BE ON THE BACKSIDE OF  
THE HOUSE, NOT FACING THE STREET.  
 Type of New Construction Proposed: NEW SHED DORMER & 2ND FLOOR DECK OVER  
EXISTING FLAT ROOF

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1863 Additions Year Built: 2010

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?  
 No  Yes

Property Owner/Agent Signature: Scott Berkey

FORM B - BUILDING

036/006

AREA	FORM NO.
CTB	20

BRN. 311

MASSACHUSETTS HISTORICAL COMMISSION  
94 WASHINGTON STREET, BOSTON, MA 02108



Town Barnstable (Cotuit-Cotuit Port)

Address 759 Main Street

Historic Name Capt. John Handy House

Common Name Charles Brooks House

Use: Present dwelling, single

Original dwelling, two family

DESCRIPTION:

Date 1860's

Source Santuit/Cotuit Historical Society

Style Italianate w/Colonial Revival alts.

Architect unknown

Exterior wall fabric clapboard

Outbuildings none

Major alterations (with dates) \_\_\_\_\_

wide frieze and window trim added E20th c.

Moved rear ell (?) Date \_\_\_\_\_

Approx. acreage .40

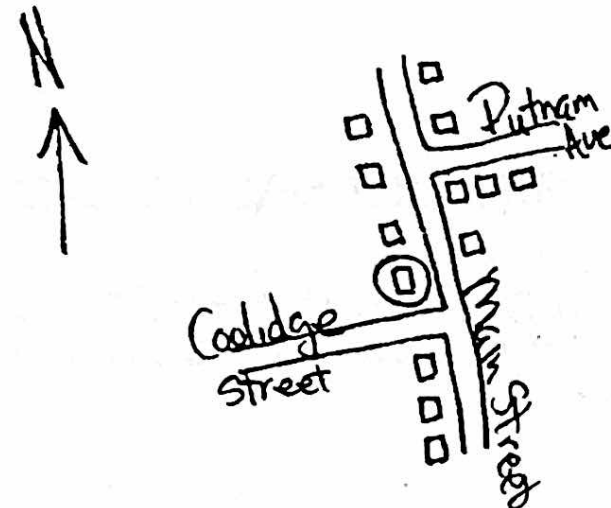
Setting residential village area

\* Contributing Bldg Cotuit National  
Register Historic District

Photo #82-20-B20

SKETCH MAP

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Recorded by Harriet R. Cabot

Organization Barnstable Historical Comm.

Date May 1985

(Staple additional sheets here)

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and  
evaluate in terms of other buildings within the community.)

Upon construction, the Capt. John Handy House was a typical 2½ story Italianate style house with its entry located on the long side and a rear ell. It was trimmed with a wide cornice, corner boards treated as pilasters, and windows with projecting lintels and 2/2 sash. It was separated from the street by a handsome wooden picket fence with scalloped profile. In the early 20th century the house was updated in the currently popular Colonial Revival style. Alterations include an elaboration of the cornice along with new window surrounds and 6/6 sash. The house represents two important periods of Cotuit's history: seafaring and summer resort.

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state  
history and how the building relates to the development of the community.)

The land on which this house stands was bought in 1862 by Capt. John Handy (1830-1889) and his wife Elizabeth Crosby Handy (1832-1905) from his sister's husband, Capt. James Coon. Eliza's father was one of the pioneer settlers at Rushy Marsh district while John's father had come to Little River in 1800 to start shipbuilding. Capt. Handy went to sea as a boy and soon rose to rank of Captain while also becoming part owner of several vessels. One of these was the schooner "Frank Nealey" used in long coasting trips. When Capt. Handy bought this land it is thought he moved the old Crosby House there, part of which had come from Nantucket, and then a larger house was built using the old part of the ell and kitchen. The large house was then used as a two family residence, the south occupied by Capt. Handy and the north side by several different tenants through the years. The Handy's had no children. Thus their niece Lucinda Crosby Nickerson married Benjamin Sears and came to live in the house, later inheriting it. After her death, Mr. Sears married a widow, Mrs. Amie Sturges Gifford and they resided in the house until the death of Mr. Sears. The house was then sold to Charles Gifford and he shortly afterward sold it to Mrs. Grace Brooks for a summer home. It was inherited by her son Charles for the same purpose.

The house thus represents typical development patterns within the community: its growth as a maritime port of some prosperity in the 19th century and its subsequent growth as a quiet summer resort.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)

Barnstable County Atlases. 1858, 1880, 1907.  
Santuit/Cotuit Historical Society. Cotuit Library.

59 Main

The land on which this house stands was bought in 1862 by Capt. John Handy, 1830-1889 from his sister's husband Capt. James Coon for \$362.50. Eliza Crosby 1832-1905 Eliza Crosby Handy's father was one of the pioneer settlers at Rushy Marsh district Capt. Wm. Crosby and Capt. John Handy's father had come to Little River in 1800 to start ship building. Capt. Handy went to sea as a boy and soon rose to rank of Captain and also became part owner of several vessels. One of these of which he was Master for some years was the schooner "Frank Nealey", used in long coasting trips. When Capt. Handy bought this land it is thought he moved the old Crosby house there, part of which had come from Nantucket, and then a larger house was built using the old part for the ell and kitchen. The large house was then used as a two family residence, the south occupied by Capt. Handy and the north side by several different tenants through the years.

The Handys had no children. Their niece Lucinda Crosby Nickerson married Benjamin Sears and they came to live there. The house was inherited by Mrs. Sears. After her death Mr. Sears married a widow, Mrs. Amie Sturges Gifford and they resided in the house until the death of Mr. Sears. The house was then sold to Charles Gifford and he shortly afterward sold it Mrs. Grace Brooks for a summer home. It was inherited by her son Charles and used for the same purpose.

An interesting item contained in the deed from Capt. Coon to Capt. Handy gives the latter the privilege of using the "MudHole", evidently an important source of water, especially for cattle. Most of the villages at that time depended on cisterns for their water. Windmills and wells came later. The MudHole was a small pond at the rear of the present Maynard Gifford property and is a very small swampy body of water in 1959. From its location one can deduce that it was a spring fed pond in 1862, as one of the Cotuit water supply wells is only a few feet from it. Eliza Crosby's father Capt. Wm. was Master of the schooner "Planter" in 1837.



RESIDENCE OF BENJAMIN F. SEARS, COTUIT, MASS.

The house (older part) was brought from Nantucket in 1862 on the sloop of Capt. Zebedial Marston. It had been flaked and was brought in sections. The roof and walls were carried across the deck of the craft. (Substantiated, 1969.)



**REPRESENTATIVE OF COTUIT HISTORY**—What is known historically as the Captain John Handy house at 759 Main St., Cotuit is representative of two important periods of Cotuit's history—in the 19th century as a prosperous maritime port and its subsequent growth as a quiet summer resort.

## Historic Homes of Barnstable

The land on which this house stands was bought for \$362.50 in 1862 by Captain John Handy (1830-1889) and his wife, Eliza Crosby Handy (1832-1905) from his sister's husband, Captain James Coon. Eliza's father was a pioneer settler at Rushy Marsh while John's father had come to Little River in 1800 to start shipbuilding. One item in the deed from Coon gave Handy the privilege of using the "MudHole", probably an important source of water, especially for cattle. The MudHole was a small pond at the rear of the Maynard Gifford property and in 1959 was a small swampy body of water. In 1862, it is assumed it was a springfed pond since one of the Cotuit water supply wells is only a few feet from it.

Captain Handy went to sea as a boy and rose to the rank of captain while also becoming part owner of several vessels, one of which was the coasting schooner Frank Nealey. It is believed that when the captain bought this land, he moved the old Crosby house there, part of which had come from Nantucket, and then built a larger house using the old part of the ell and kitchen. The newer house was used as a two family residence, the south occupied by Captain Handy and the north portion by several tenants through the years.

Since the Handys had no children, their niece, Lucinda Crosby Nickerson, who married Benjamin Sears, came to live in the house and later inherited it. Following her death, Sears married a widow, Amie Sturges Gifford, and they resided in the home until Sears' death. Charles Gifford bought the property shortly thereafter and then sold it to Grace Brooks for a summer home. Her son Charles inherited it and used it in a similar way.

Built in the 1860s, the house was a typical two and a half story Italianate style dwelling with its entry on the long side and a rear ell. It was trimmed with a wide cornice, the corner boards as pilasters and windows with two over two sash with projecting lintels. A handsome wooden picket fence with scalloped profile separated the dwelling from the street.

In the early 20th century, the wide frieze and window trim were added and the windows were made six over six, the alterations in accord with the popular Colonial Revival style of the era.

Photo, information courtesy Barnstable Historical Commission



**Current Main Street View**





**Current Corner of Main and Coolidge View**

EXISTING CONDITIONS

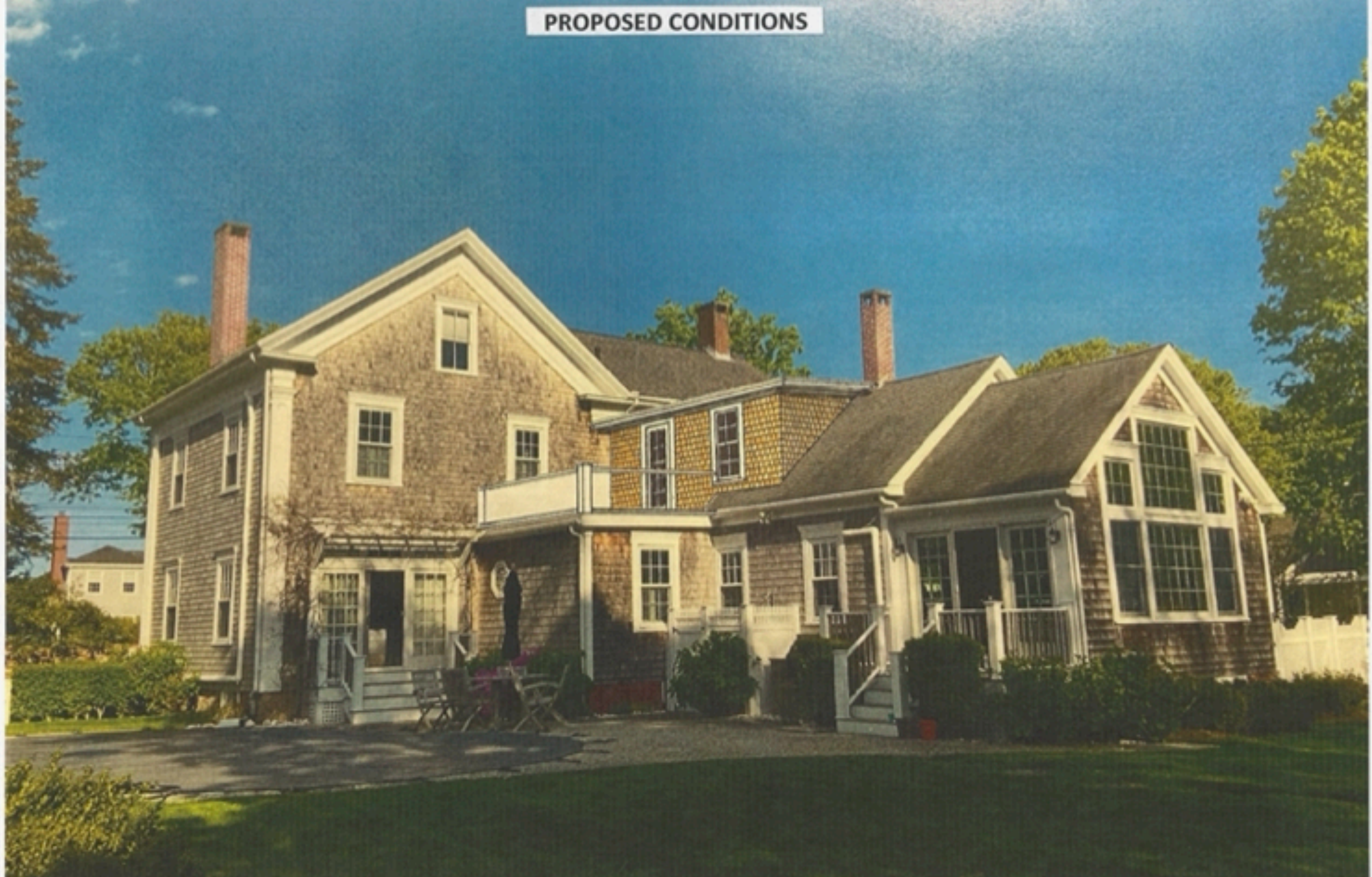




AREA OF DEMOLITION TO ACCOMMODATE NEW SHED DORMER

LINE OF NEW SHED DORMER RAFTERS

PROPOSED CONDITIONS



SHED DORMER RAFTERS, 2X8@16" O. C., PITCHED FROM EXISTING RIDGE BOARD, BUT FASTENED TO NEW RIDGE BEAM (3.5"X11.875" LVL POST TO FOUNDATION AND OR NEW FOOTING. SEE SEPARATE STRUCTURAL NOTES)

TYPICAL 12" DEEP SOFFIT ASSEMBLY. CUT BACK RAFTER PROJECTION TO 3 1/2" AND ADD 2X4 LADDER FRAME TO RAKING SOFFIT. TOP OF PLYWOOD TO BOTTOM EDGE OF SOFFIT SHOULD BE +/- 3/8". 4" CROWN, 5/4 FASCIA, 1X SOFFIT BOARD. 5/4X4 FRIEZE AND RAKING FRIEZE, WITH 2" BEDMOULD AT WALL

NOTE; DRIP EDGE TO END 2" BELOW EXISTING SOFFIT/FRIEZE ASSEMBLY

DORMER SIDE WALL 2" SPACE TO CHIMNEY (POST TO LOWER SUPPORT).

WHITE CEDAR SHINGLE SYSTEM (MAIBEC) TO MATCH EXISTING

GUTTER TO MATCH EXISTING AND STARTING 3" FROM FASCIA CORNER TO ALLOW FOR COMPLETE CROWN CORNER DETAIL. DOWNSPOUT AS SHOWN

BALUSTARDE TO MATCH EXISTING LOWER DECKS. ALIGN SUB NEWELS TO WALL BELOW. ALIGN NEWEL POST TRIM TO THE CORNER BOARD BELOW

DOOR AND WINDOW, ANDERSEN 400 SERIES, WHITE WITH 5/8" SDL MUNTIN BARS WITH SPACER BARS AS SHOWN. DOOR IS FWH2768, (2'7"X6'8" RO) GRILLES 2X5. CONFIRM DOOR HEIGHT AFTER LAYING OUT RAFTER/WALL HEIGHT. THIS DOOR MAY NEED TO BE SHORTENED/CUSTOM TO SUIT. WINDOW IS TW2442, (2'6 1/8"X4'4 7/8") GRILLES 4/4

ALL EXTERIOR TRIM TO MATCH MATERIALS AND APPEARANCE OF EXISTING

On Jun 14, 2021, at 4:22 PM, Sarah Korjeff <[skorjeff@capecodcommission.org](mailto:skorjeff@capecodcommission.org)> wrote:

Hi Scott and Pattie,

Thank you for sharing your plans and giving me an opportunity to comment early in your design process. I always recommend people place additions to the rear of historic structures and away from any unique architectural details. In general, the goal is to avoid altering key facades and to limit the loss of original historic material. It appears that your proposed addition follows those general guidelines by building off a low rear ell which has already had some alterations. The illustrations you sent are very helpful, but I have a few questions that I can't determine from the rendering:

- Does the proposed dormer abut the rear of the main house? If so, you should clarify how much of the original rear building wall and eave trim would be lost to accommodate the dormer. The small extent of the dormer appears appropriate in that it hides little of the original building and the roof line of the rear ell is still quite visible.
- Does the dormer exceed the height of the existing ell's ridge? The dormer should not extend the height of the existing ridge, which appears to be an early addition to the structure.

Feel free to contact me if you have additional questions.

Sincerely,

Sarah

Sarah Korjeff  
Historic Preservation Specialist/Planner  
Cape Cod Commission  
3225 Main Street/P.O. Box 226  
Barnstable, MA 02630  
508-362-3828 (front desk)  
508-744-1215 (direct)

**From:** Scott Berkey <[berkeys@comcast.net](mailto:berkeys@comcast.net)>

**Sent:** Monday, June 14, 2021 8:15 AM

**To:** Sarah Korjeff <[skorjeff@capecodcommission.org](mailto:skorjeff@capecodcommission.org)>

**Cc:** [Erin.Logan@town.barnstable.ma.us](mailto:Erin.Logan@town.barnstable.ma.us) <[Erin.Logan@town.barnstable.ma.us](mailto:Erin.Logan@town.barnstable.ma.us)>; Pattie Berkey <[berkeyp@comcast.net](mailto:berkeyp@comcast.net)>

**Subject:** 759 Main Street, Cotuit

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Sarah,

I hope you are well. I was referred to you by Erin Logan from the Town of Barnstable. Pattie and I have owned an 1860s house at the corner of Main and Coolidge in Cotuit for 11 years. It is part of the Cotuit Historic District and as such, is listed on the National Registry of Historic Places. I have attached pictures of the current views from the Main Street, Coolidge Street and rear of the property. We are considering adding a dormer to the rear roof facing away from the streets. The final picture is a rendering.

Before we move forward and present to the Barnstable Historical Commission, we are interested to get your feedback.

Thank you very much for your assistance.

Best Regards,

Scott and Pattie Berke

On Jun 24, 2021, at 9:22 AM, Sarah Korjeff <[skorjeff@capecodcommission.org](mailto:skorjeff@capecodcommission.org)> wrote:

Hi Scott,  
Your architect's comments were clear. I don't have any concerns about the form of the dormer, knowing that it does not exceed the height of the rear ell and that it impacts a relatively small area of trim on the rear of the building.  
Thank you for following up.  
Sincerely,  
Sarah

Sarah Korjeff  
Historic Preservation Specialist/Planner  
Cape Cod Commission  
3225 Main Street/P.O. Box 226  
Barnstable, MA 02630  
508-362-3828 (front desk)  
508-744-1215 (direct)

**From:** Scott Berkey <[berkeys@comcast.net](mailto:berkeys@comcast.net)>  
**Sent:** Wednesday, June 23, 2021 8:34 AM  
**To:** Sarah Korjeff <[skorjeff@capecodcommission.org](mailto:skorjeff@capecodcommission.org)>  
**Cc:** [Erin.Logan@town.barnstable.ma.us](mailto:Erin.Logan@town.barnstable.ma.us) <[Erin.Logan@town.barnstable.ma.us](mailto:Erin.Logan@town.barnstable.ma.us)>; Pattie Berkey <[berkeyp@comcast.net](mailto:berkeyp@comcast.net)>  
**Subject:** Re: 759 Main Street, Cotuit

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Sarah,

Thank you again for your assistance on our plans. I am touching base to see if you have any feedback on our architects comments.

All the best,

Scott

Scott A. Berkey  
759 Main Street  
PO Box 1496  
Cotuit MA 02635

+1 508 353 9705  
[berkeys@comcast.net](mailto:berkeys@comcast.net)

On Jun 15, 2021, at 7:05 AM, Scott Alan Berkey <[berkeys@comcast.net](mailto:berkeys@comcast.net)> wrote:

Dear Sarah,

Thank you for your prompt reply. We have worked with the same architect over the years and he prepared the rendering, so I asked him to answer your questions. Here are his comments,  
"To clarify question (1), which also clarifies question (2). The proposed dormer is intended to butt against the existing main house exterior wall. The ridge (top) of the proposed shed dormer is intended to start at the height of existing ridge of the ell. As evidenced by the photos, this "peak" occurs in the middle of the frieze board just below the soffit/drip edge, of the main house. The drip edge of the new shed dormer is intended to occur just below the bottom of the main house frieze board so it will be "complete" below the pigeon shelf above it. The frieze board will have to be taper cut from this point to the ell's ridge, and this sets the geometry (pitch) of the new roof.

The ridge of the new shed dormer will match and not exceed the ridge of the ell."

Let us know if your have additional questions. Thank you again for your assistance.

Best regards,

Scott & Pattie

**Thank you!**



## Historical Commission Abutter List for Subject Parcel 036006

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
035037	STADTERMAN, RICHARD L & DIANE L		PO BOX 950		COTUIT	MA	02635
035038	MCGONIGLE, STEPHEN M & ROSEMARY	%MCGONIGLE, STEPHEN M	29 COOLIDGE STREET		COTUIT	MA	02635
035039	PIERCE, RICHARD B JR	%PIERCE, RICHARD B JR TR	179 PLUM HOLLOW ROAD		EAST FALMOUTH	MA	02536
035041	DOYLE, JOHN F & ANNE M		PO BOX 1002		COTUIT	MA	02635
035043	GROVER, TRACIE E & AVALLONE, PATRICIA M		PO BOX 991		COTUIT	MA	02635
035068	FOY, GEORGE & ORR, ELIZABETH ANNE		PO BOX 970	785 MAIN STREET	COTUIT	MA	02635
035105	MOORE, PATRICIA		33 PUTNAM AV		COTUIT	MA	02635
036002	COTUIT FIRE DISTRICT		P.O. BOX 1475		COTUIT	MA	02635
036004	O'CONNOR, ROBERT B		PO BOX 602		COTUIT	MA	02635
036005	NICHOLS, LARRY D & KAREN C		134 GRAY ST		ARLINGTON	MA	02174
036006	BERKEY, SCOTT A & PATRICIA A		759 MAIN STREET		COTUIT	MA	02635
036007	KONARY, DENNIS & BERNICE S		PO BOX 2020		COTUIT	MA	02635
036008	JARVIS, WILLIAM H JR & NANCY J		727 MAIN ST		COTUIT	MA	02635
036033	10 PUTNAM AVE LLC		35 BRAINTREE HILL		BRAINTREE	MA	02184

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
			PARK STE 404				
036034	JOHNSON, DAVID G & ELIZABETH T		5 PUTNAM AVENUE		COTUIT	MA	02635
036035	KORNBLUM, RICHARD J & MARGARET R TRS	746 MAIN ST COTUIT N R T	PO BOX 497		COTUIT	MA	02635
036043	ANGELO, RICHARD J JR		15 PUTNAM AVENUE		COTUIT	MA	02635
036046	GROCERY STORE INC		PO BOX 265		COTUIT	MA	02635
036050	MOORE, PATRICIA L		33 PUTNAM AVE		COTUIT	MA	02635
036059	JONES, KEVIN E & MARY C		905 DEERFLATS DRIVE		SAN DIMAS	CA	91773